

BEST DEVELOPMENT GROUP

NE CORNER OF SOUTH ST. AND S. FRANKLIN ST.
FORT BRAGG, CA 95437

VICINITY MAP



NORTH

PROJECT DESCRIPTION

NEW GROCERY STORE BUILDING - INCLUDING, BUT NOT LIMITED TO, RACKING, REFRIGERATED CASES, COOLERS, FREEZER, AND ASSOCIATED EQUIPMENT AND SITE IMPROVEMENTS.

GENERAL SCOPE OF WORK

- NEW GROCERY RETAIL BUILDING WITH EXTERIOR MASONRY WALLS WITH EIFS EMBELLISHMENTS
- WOOD TRUSS AND GLULAM STRUCTURE WITH PLYWOOD DECK
- METAL STUD FRAMING
- INTERIOR FINISHES
- TOILET ROOMS
- OFFICE AND BREAKROOM
- COOLER AND FREEZER
- STOCKROOM
- EQUIPMENT
- EXTERIOR BUILDING SIGNAGE (UNDER SEPARATE PERMIT)
- ON AND OFF SITE IMPROVEMENTS - GRADING + DRAINAGE, UTILITIES AND LANDSCAPING

CODE SUMMARY

APPLICABLE CODES

BUILDING CODE:	2016 CALIFORNIA BUILDING CODE (CBC)
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE (CMC)
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE (CPC)
ELECTRIC CODE:	2016 CALIFORNIA ELECTRIC CODE (CEC)
ACCESSIBILITY CODE:	2016 CALIFORNIA BUILDING CODE CHAPTER 11B
ENERGY CODE:	2016 STATE OF CALIFORNIA ENERGY CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE (CFC)

BUILDING CODE ANALYSIS

USE GROUP

USE GROUP:	M-MERCANTILE
USE GROUP:	S1-STORAGE
TOTAL GROSS SQUARE FOOTAGE	16,688 SF
FIRE PROTECTION:	FULLY SPRINKLERED
APN#:	336-012-43

CONSTRUCTION TYPE

CONSTRUCTION TYPE: III-B
FULLY SPRINKLED

borr

ARCHITECT OF RECORD:
JAMES A. HAILEY
6700 ANTIOCH PLAZA
SUITE 300
MERRIAM, KS 66204

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TEL: 913-262-9095
FAX: 913-262-9044

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CONSULTANT

GROCERYOUTLET

623 SOUTH FRANKLIN STREET
FORT BRAGG, CA 95437

ISSUE BLOCK

[illegible]

DATE: 05/29/19

RAWN BY: JRZ

CHECKED BY:

JOB #62930117

SHEET TITLE

COVER SHEET

SHEET NO.

G1

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CONSULTANT

GROCERY OUTLET
*per gain market*SM
825 SOUTH FRANKLIN STREET
FORT BRAGG, CA 95437

[illegible]

DATE: 05/29/19

DRAWN BY: Author

CHECKED BY:

JOB #62930117

SHEET TITLE

SITE DEMO

SHEET NO.

SD1

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— — — — — PROPERTY LINE

- - - - - DEMOLISH EXISTING

STOP

S FRANKLIN ST

STOP

STOP

N HARBOR DR

TRACT 1
APN: 018-120-47

TRACT 2
APN: 018-120-48

PARCEL 1
APN: 018-120-49

—EXISTING BUILDING
TO BE REMOVED.

—EXISTING WOODEN FENCE
ALONG PROPERTY LINE
TO BE REMOVED—

—EXISTING PARKING AREA
TO BE REMOVED—

SOUTH ST

1 EXISTING SITE PLAN

$$\frac{1}{16"} = 1'-0"$$


7/29/2019 7:38:11 PM

1. ALL BUILDING HEIGHTS ARE ABOVE INTERIOR FINISH FLOOR NOT ADJACENT GRADES.

EXAMPLE IMAGE	GRAPHIC	DISCRIPTION
		SMOOTH FACE CMU
		HARDI BOARD COMPOSITE WOOD PANELING
		HARDI BOARD COMPOSITE HALF ROUND "FISH SCALE" PANELING
		WOOD ROOF SHINGLES
		CULTURED STONE - COUNTRY LEDGESTONE
		P8 - DRIFTWOOD
		P6 - INDIAN RIVER
		P7 - SMOKEY TAUPE

P6	INDIAN RIVER, BENJAMIN MOORE #985
P7	SMOKEY TAUPÉ, BENJAMIN MOORE #983
P8	DRIFTWOOD, BENJAMIN MOORE #2107
ST1	CULTURED STONE

WINDOW RATIO CALCULATION

TOTAL AREA OF WINDOWS / TOTAL AREA OF WALLS
1,368 SF / 7,562 SF = 18%

FRONT FACADE WINDOW RATIO CALCUATION:

TOTAL AREA OF WINDOWS / TOTAL AREA OF WALLS
160 SF / 345 SF = 46%

ISSUE BLOCK

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EXTERIOR ELEVATIONS

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6

GROCERY OUTLET
pargain market^{INC.}

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FORT BRAGG, CA 95437

[illegible]

DATE: 03/17/20

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CHECKED BY:

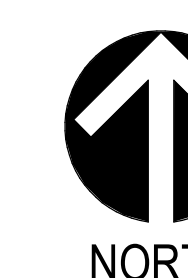
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SHEET TITLE

PERSPECTIVES

SHEET NO.

A2.0A



(C5) SOUTH ST CORNER PERSPECTIVE



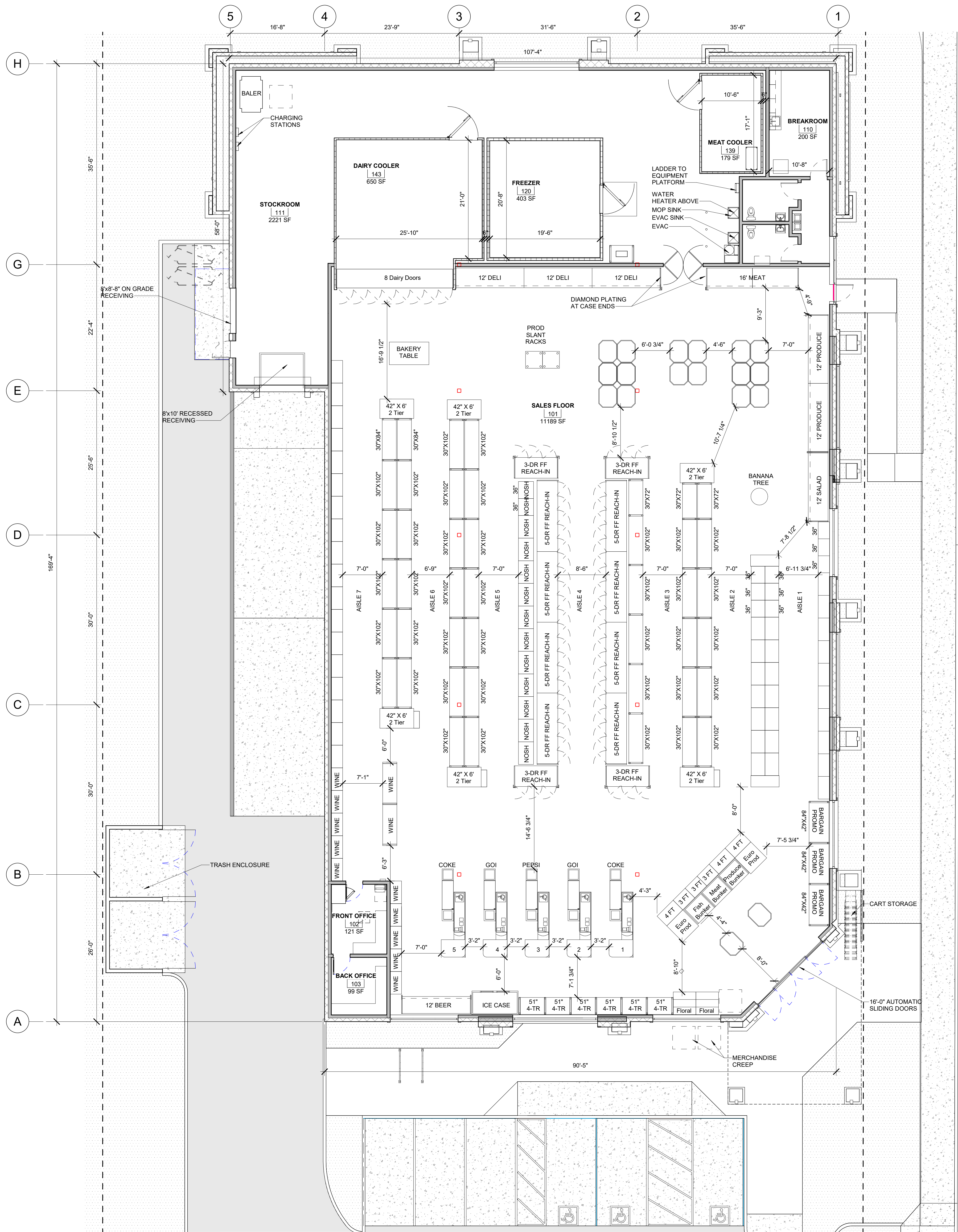
A5 ENTRANCE PERSPECTIVE



A3 PARKING LOT PERSPECTIVE

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A4 **FIXTURE PLAN**
1/8" = 1'-0"

FORT BRAGG, CA -
FIXTURE PLAN - 03/19/20
VERSION 5
BUILDING AREAS (GROSS):
SALES = 11,927 SF
B.O.H. = 4,168 SF
SHELL = 16,095 SF

MERCHANDISING (NET) = 11,189 SF
STOCK (NET)= 2,231 SF

LEGEND	
SYMBOL	DESCRIPTION
	BRASS BELL (AT CHECKSTAND #1)
	ECO BAG GRIDS (3 PER PLAN)
	ABS BROOM HOLDERS (4 PER PLAN AT CLEANER AISLE)
	APPAREL RACKS (PROMOTIONAL EVENTS)
BUMP	
	SECURITY CAMERA (SINGLE DIRECTION)
	SECURITY CAMERA (360 DEGREE)

GENERAL MERCH	HBC PERIMETER
BASE DECKS 28"	BASE DECKS 24"
SHELVES 24"	SHELVES 24"
SAHARA COLOR	SAHARA COLOR

SEASONAL	CANDY PERIMETER
BASE DECKS 28"	BASE DECKS 24"
SHELVES 24"	SHELVES 24"
SAHARA COLOR	SAHARA COLOR

INT. SIGNAGE:	WINE PERIMETER
USE 4'-0" PACKAGE (LIGHTING @ 14'-0")	BASE DECKS 24"
	SHELVES 24"
	BLACK COLOR

HOLDING BOXES
FREEZER: 403 SF
DAIRY: 650 SF
MEAT: 179 SF

brr

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GROCERY OUTLET
bargain market

825 SOUTH FRANKLIN STREET
FORT BRAGG, CA 95437

ISSUE BLOCK

NO.	DATE	DESCRIPTION
1	03/06/19	Fixture Plan
2	03/06/19	Fixture Plan
3	03/07/19	Fixture Plan
4	03/11/20	Fixture Plan
5	03/19/20	Fixture Plan

DATE: 03/17/20

DRAWN BY: SEW

CHECKED BY:

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FIXTURE PLAN

SHEET NO.

FX1.0

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 bargain market

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FORT BRAGG, CA 95437

ISSUE BLOCK

[illegible]

DATE: 03/17/20

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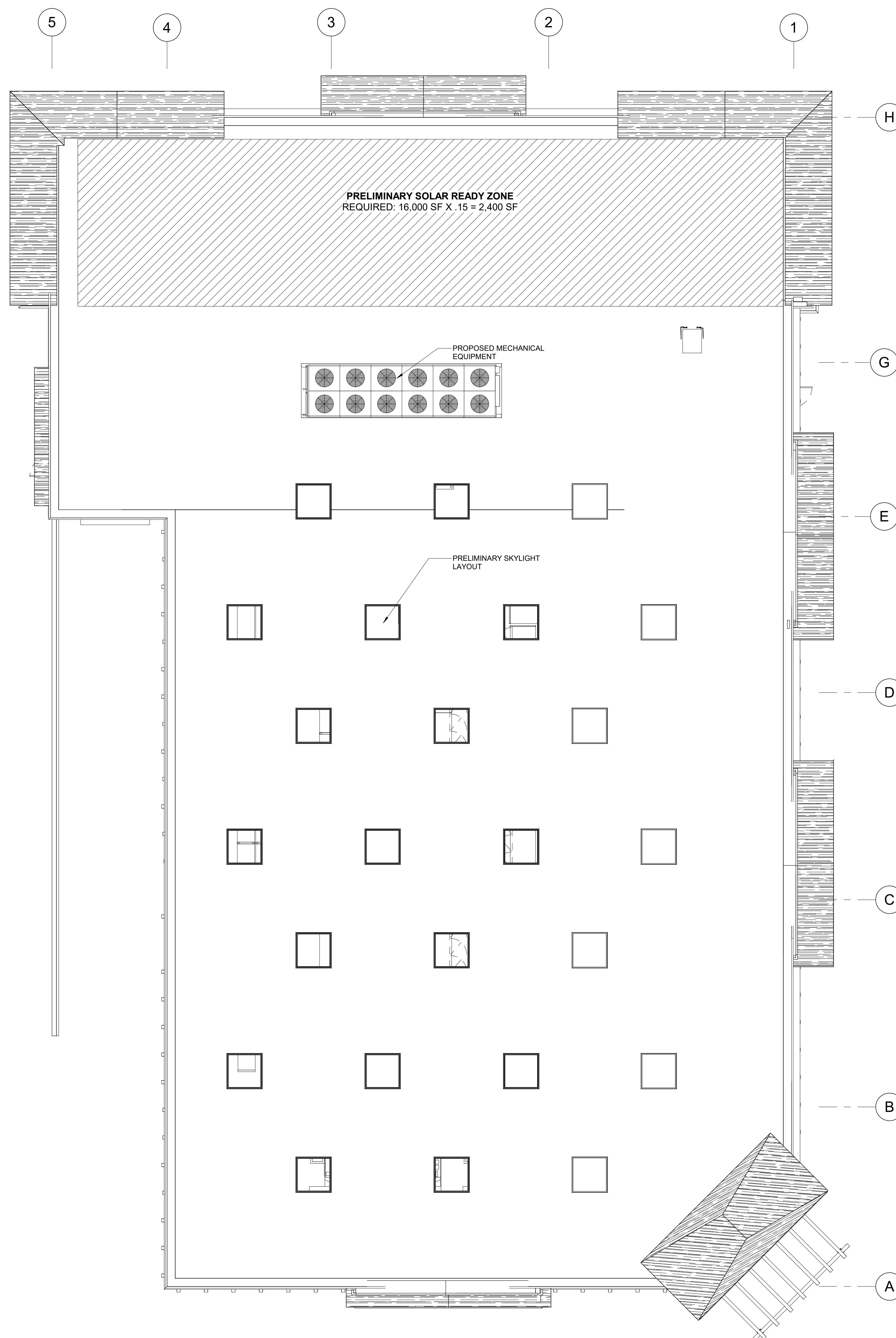
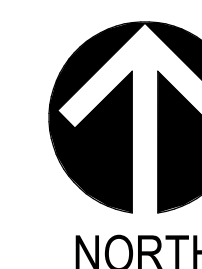
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ROOF PLAN

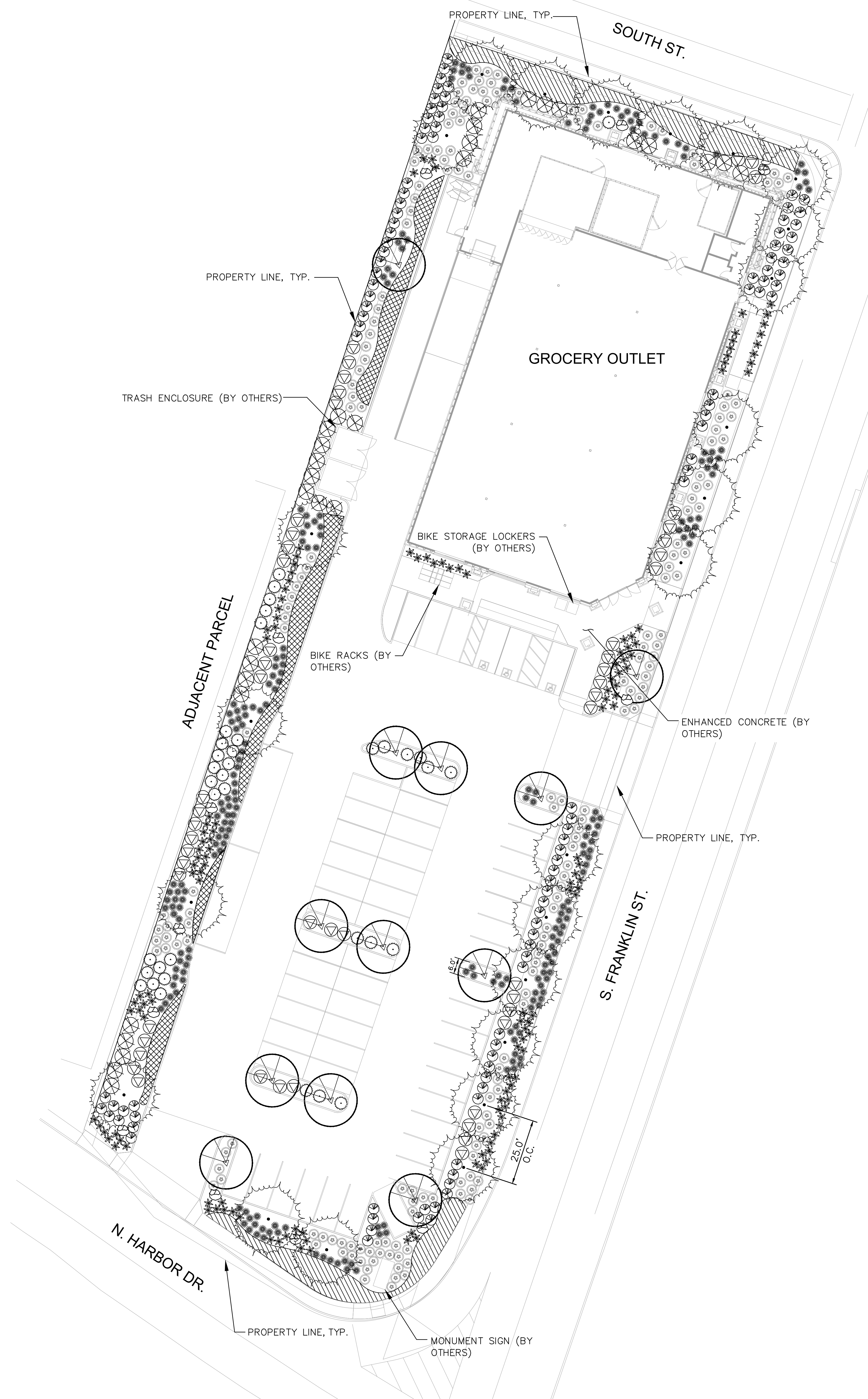
SHEET NO.

A3



1 ROOF PLAN

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PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT/SPREAD	WUCOLS
	24	CUPRESSUS MACROCARPA / MONTEREY CYPRESS	24" BOX	7'-9' HT. X 3'-5' SPR.	MODERATE

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS
	103	BERBERIS AQUIFOLIUM / COMMON BARBERRY	5 GAL.	4' O.C.	LOW
	238	MUHLENBERGIA DUBIA / PINE MUHLY	5 GAL.	3' O.C.	LOW
	30	OLEA EUROPAEA 'LITTLE OLLIE' / LITTLE OLLIE OLIVE	5 GAL.	4' O.C.	LOW
	141	PHORMIUM TENAX 'DARK DELIGHT' / DARK DELIGHT FLAX	5 GAL.	3' O.C.	LOW
	52	PITTOSPORUM TOBIRA 'COMPACTUM' / COMPACT PITTOSPORUM	5 GAL.	5' O.C.	LOW
	37	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL.	5' O.C.	LOW
	185	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL.	4' O.C.	LOW

<u>INERT MATERIAL</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SPACING</u>	<u>WUCOLS</u>
	12	ROCK BOULDERS / 4' X 4' X 4' / LOCALLY SOURCED	-	-	-

<u>GROUND COVERS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SPACING</u>	<u>WUCOLS</u>
	318	FESTUCA RUBRA / RED FESCUE	N/A	2.5' O.C.	LOW
	155	MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM	N/A	3' O.C.	LOW

LANDSCAPE NOTE:

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. DECOMPOSED GRANITE SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUN-OFF. ALL SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER SOIL TEMPERATURE, AND REDUCE WEED GROWTH. THE SELECTION OF PLANTS SHALL ALLOW FOR THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF FORT BRAGG MUNICIPAL CODE.

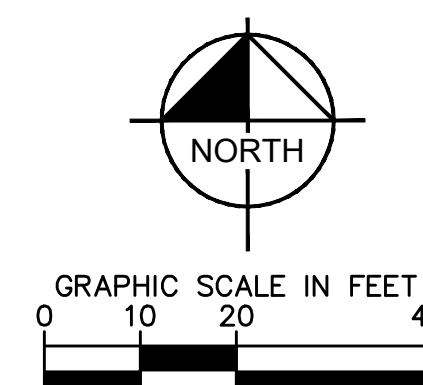
IRRIGATION NOTE:

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE 100% COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. THE WATER SUPPLY FOR THIS SITE IS A POTABLE WATER CONNECTION AND A DEDICATED IRRIGATION METER WILL BE PROVIDED. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH NO WATER LOSS DUE TO WATER CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL POINT SOURCE SYSTEM SHALL BE DESIGNED AND REGULATED TO MEET THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF FORT BRAGG MUNICIPAL CODE.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

Michael P. Madsen
MICHAEL P. MADSEN, LLA 5798

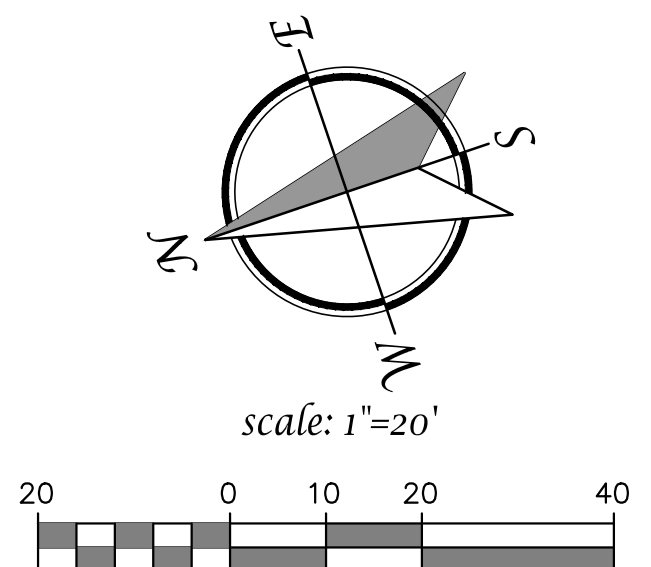
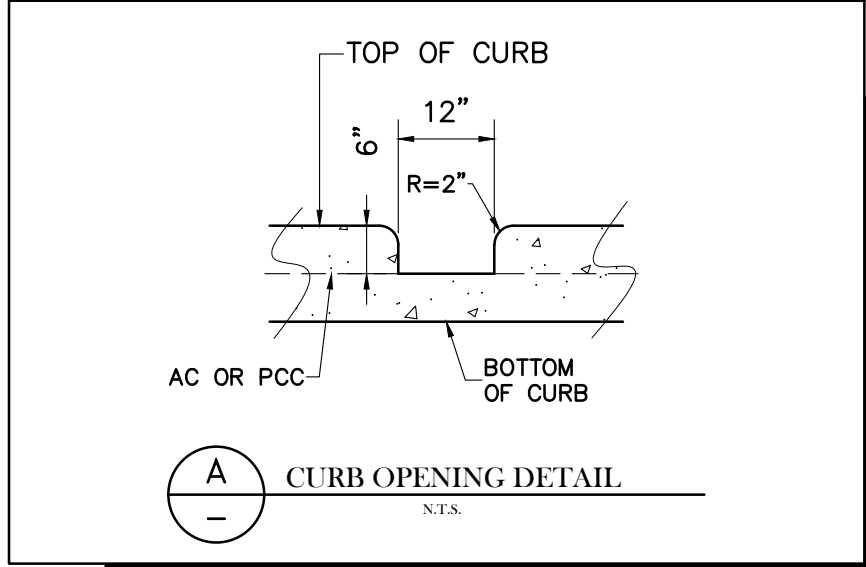
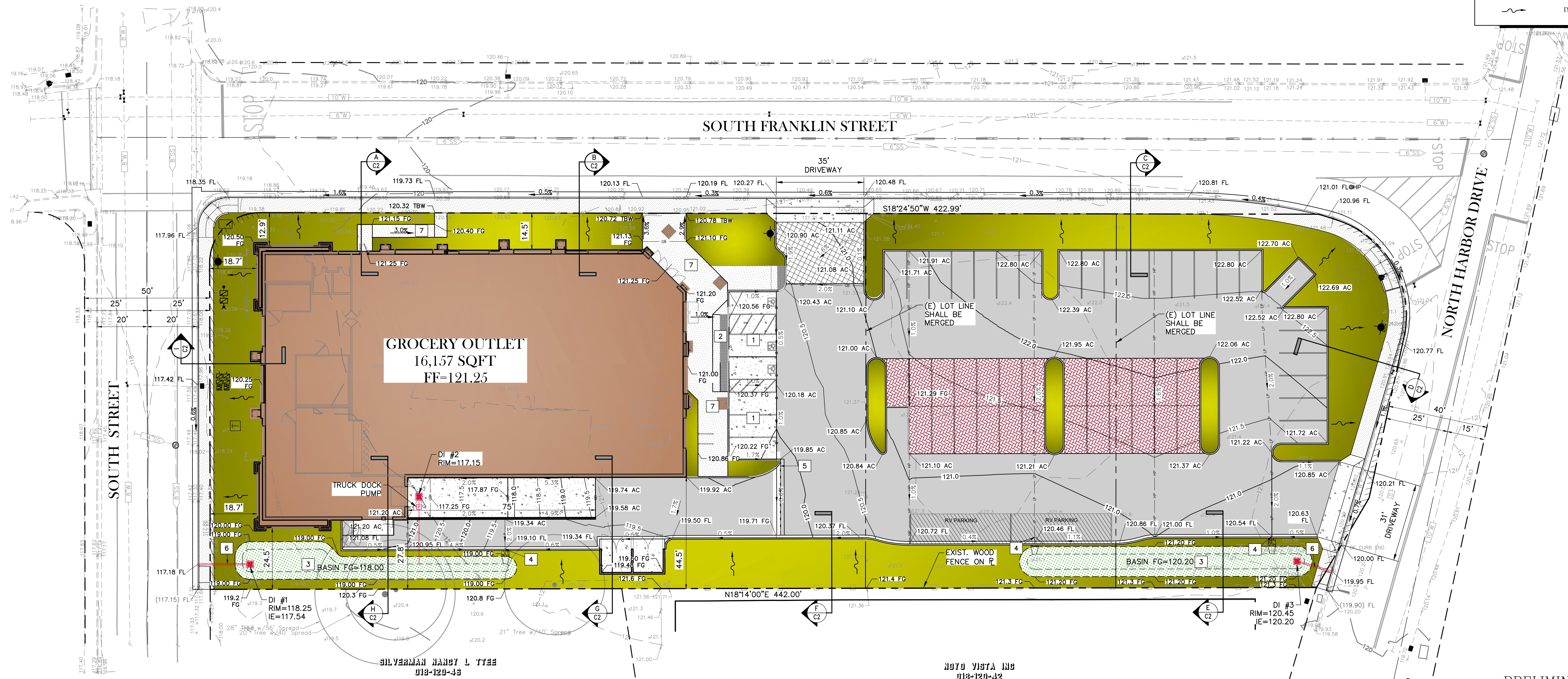
CODE INFORMATION TABLE	REQUIRED	PROVIDED
PERIMETER TREES PLANTED AT 25' O.C	25' O.C.	YES
MINIMUM LANDSCAPE AREA WIDTH	7'	YES
MINIMUM PERIMETER OF LANDSCAPE STRIP	5'	YES
PARKING LOT LANDSCAPE AREA	10% (775 SQFT)	(17.3%) 1,345 SQFT



PRELIMINARY GRADING & DRAINAGE PLAN
BEST DEVELOPMENT GROUP
GROCERY OUTLET
825, 845, 851 SOUTH FRANKLIN STREET
FORT BRAGG, CA

GRADING CONSTRUCTION NOTES	
1	ACCESSIBLE PARKING/LOADING ZONE
2	ACCESSIBLE CURB RAMP
3	BIO-RETENTION BASIN
4	1-FOOT CURB OPENING INTO BASIN
5	CONCRETE VALLEY GUTTER
6	(2) 3" PVC SIDEWALK DRAIN PIPE
7	SIDEWALK

SITE LEGEND	
PROPOSED	EXISTING
168.0 AC	ELEVATION (165.5) FL
	SIDEWALK DRAIN
	DRAINAGE INLET
	ASPHALT PAVEMENT
	BUILDING AREA
	LANDSCAPE AREA
	P.C.C. CONCRETE
	BIO RETENTION BASIN
	CONCRETE SIDEWALK
	PERMEABLE PAVEMENT
	DECORATIVE PAVEMENT
	DRAINAGE DIRECTION



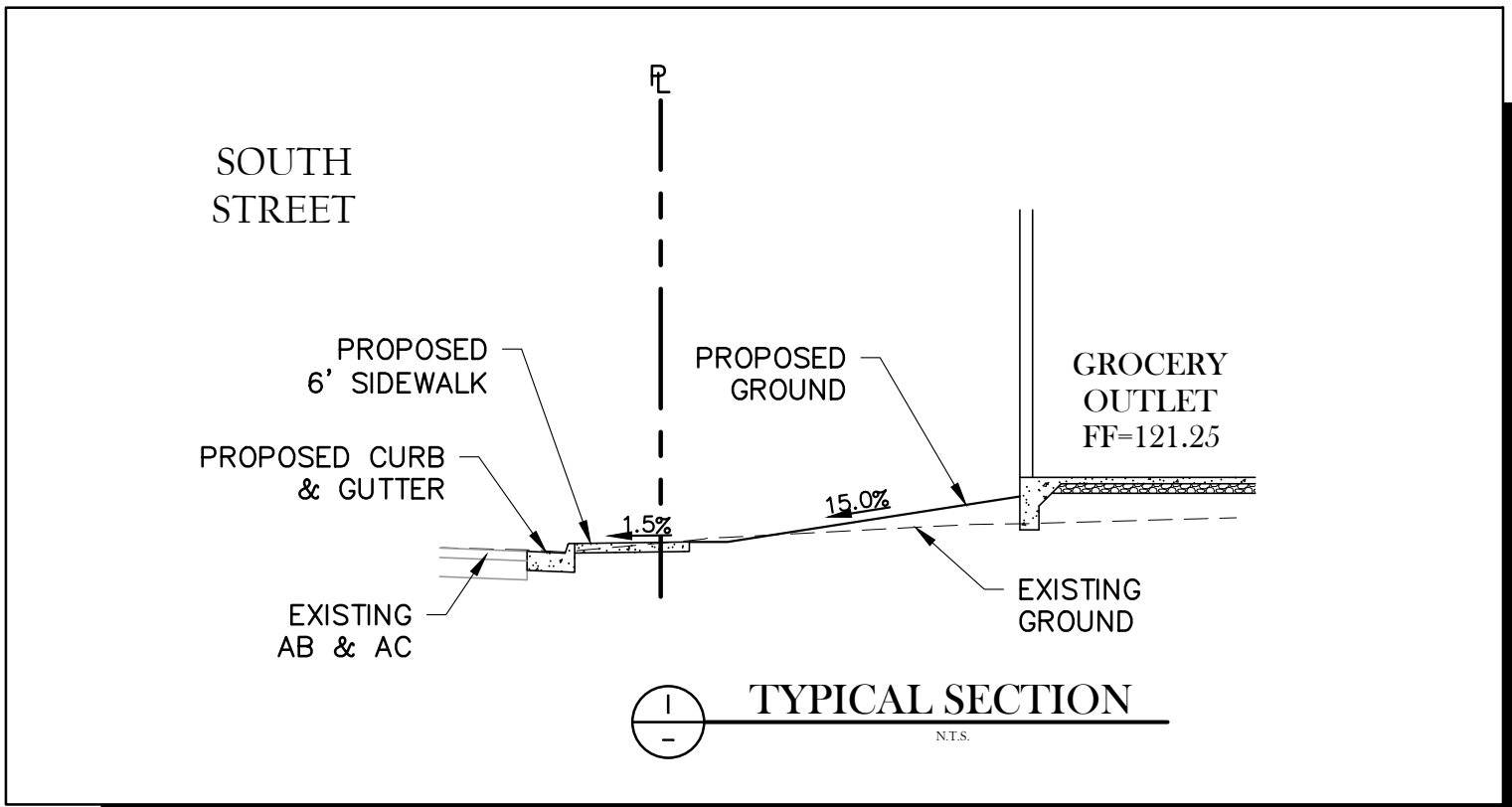
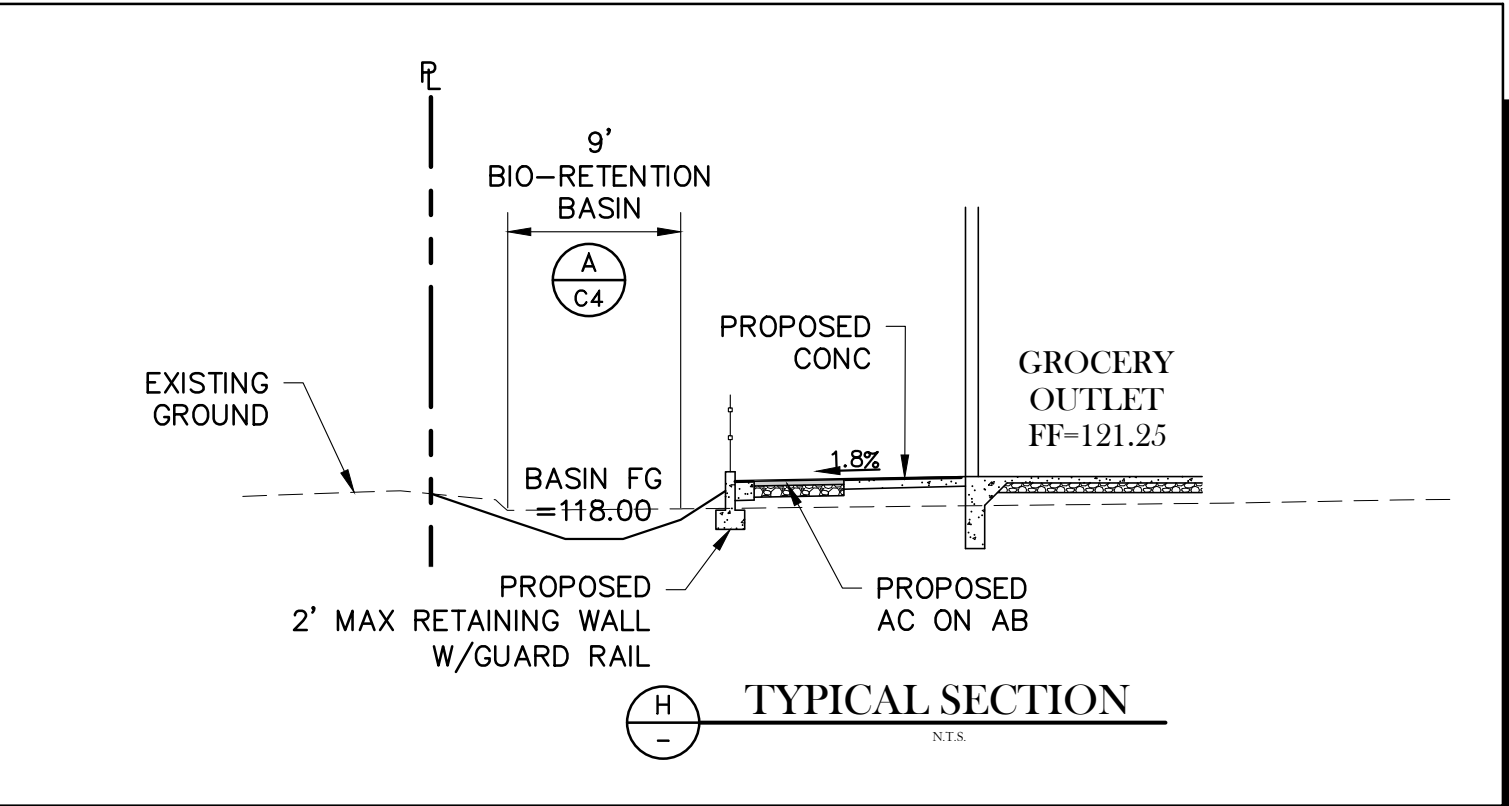
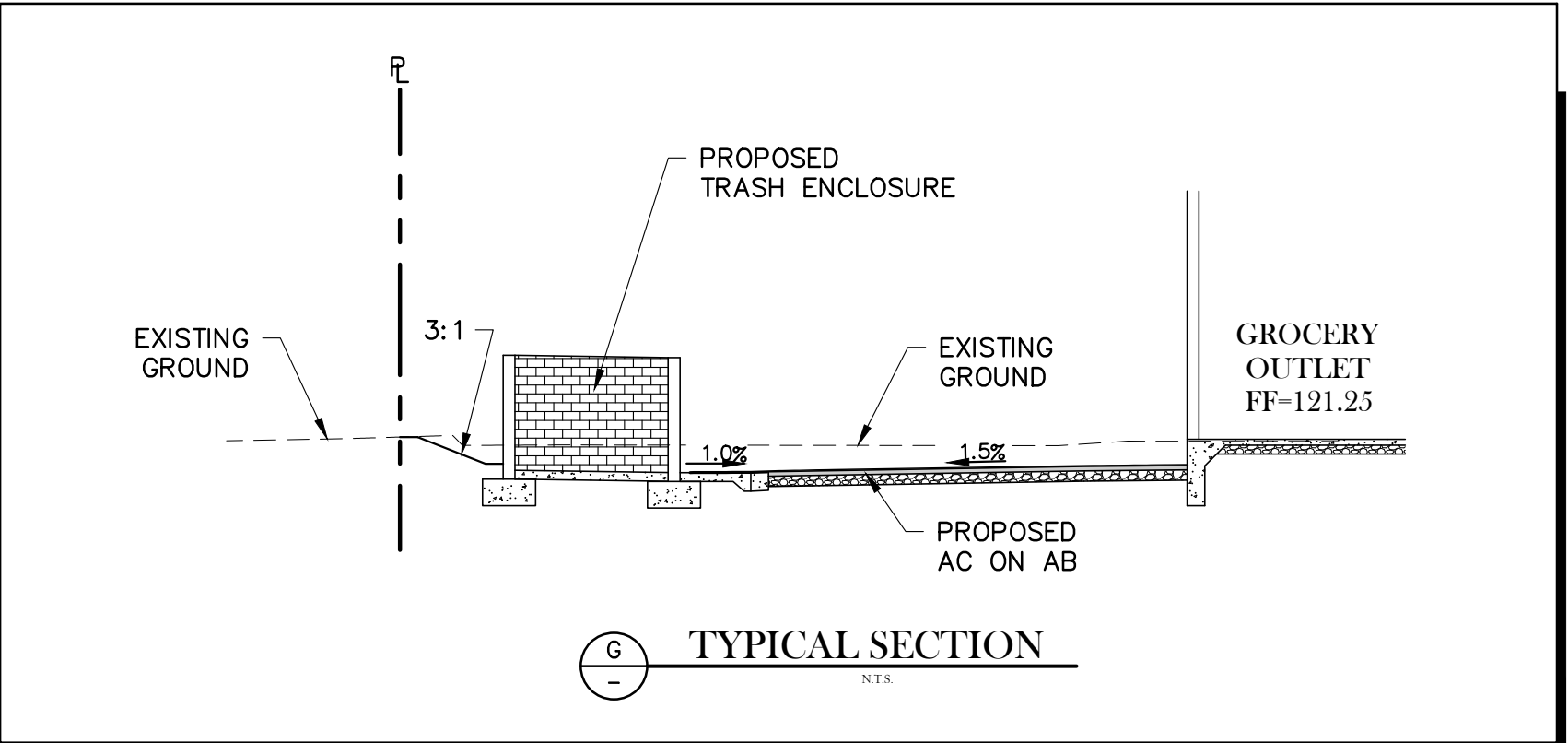
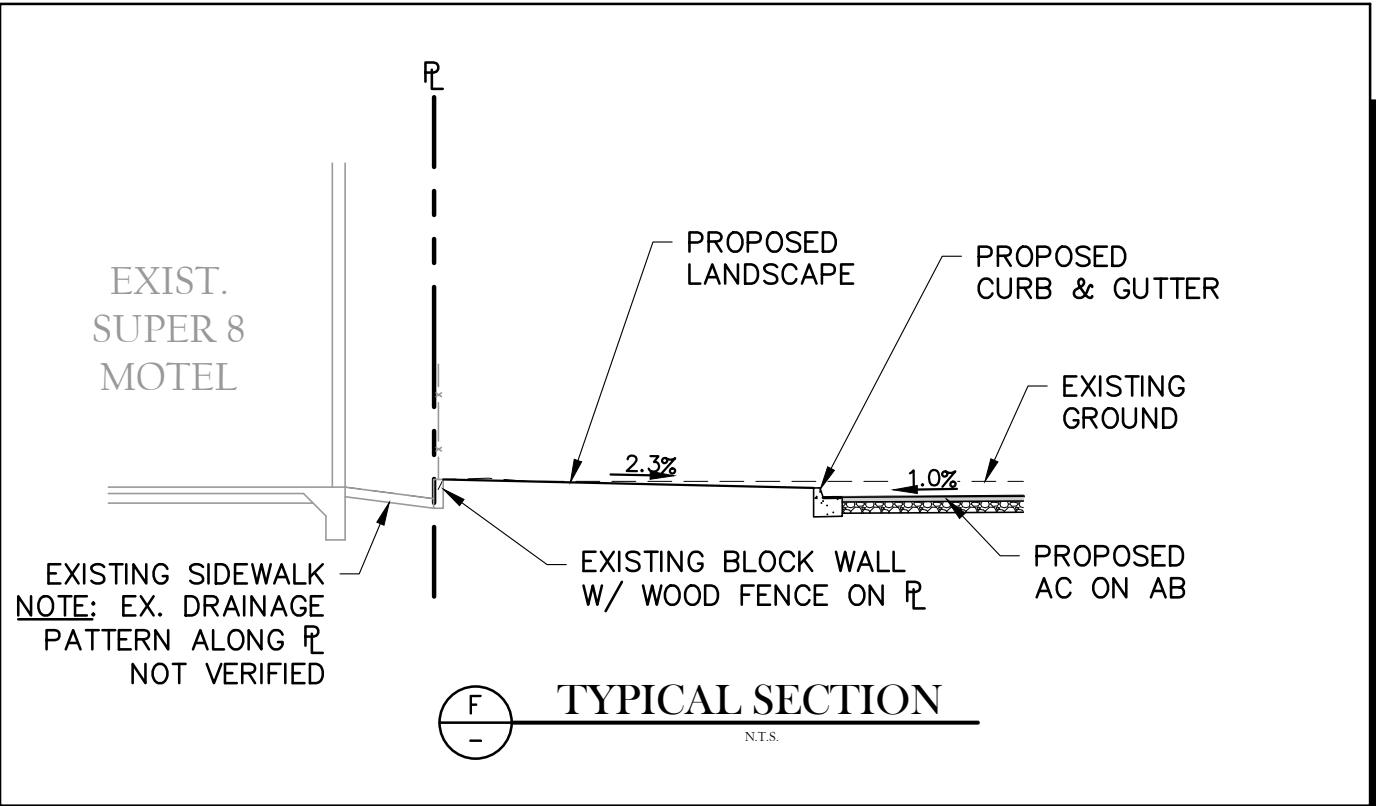
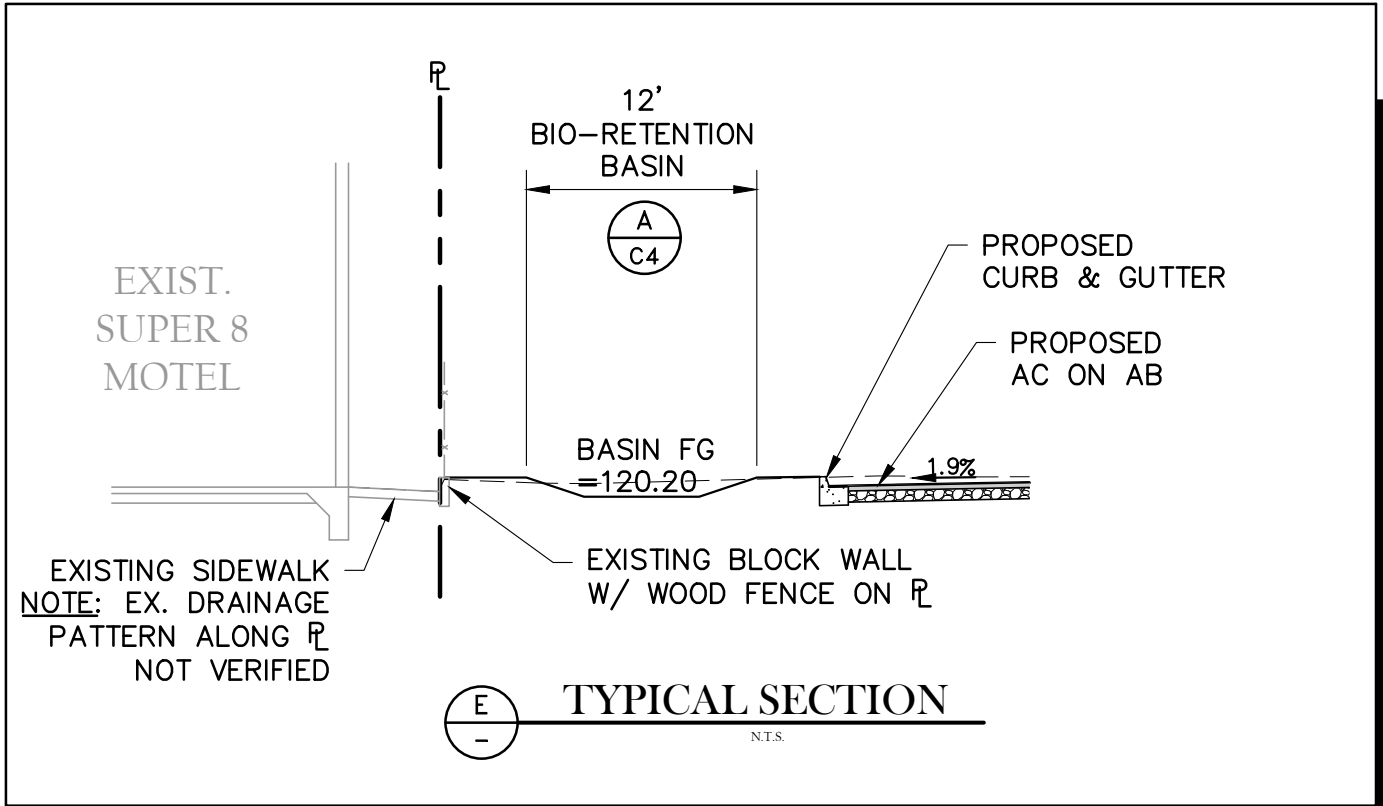
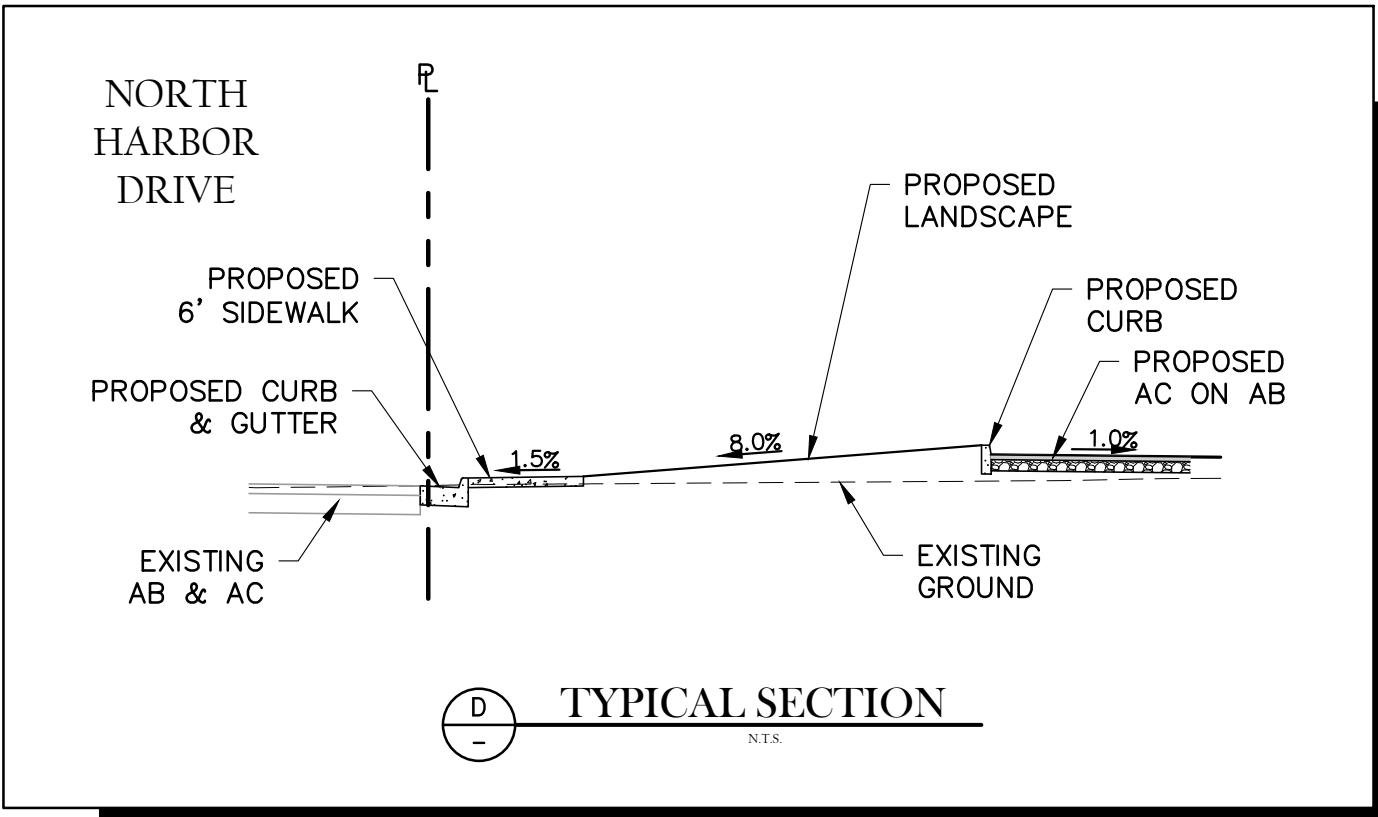
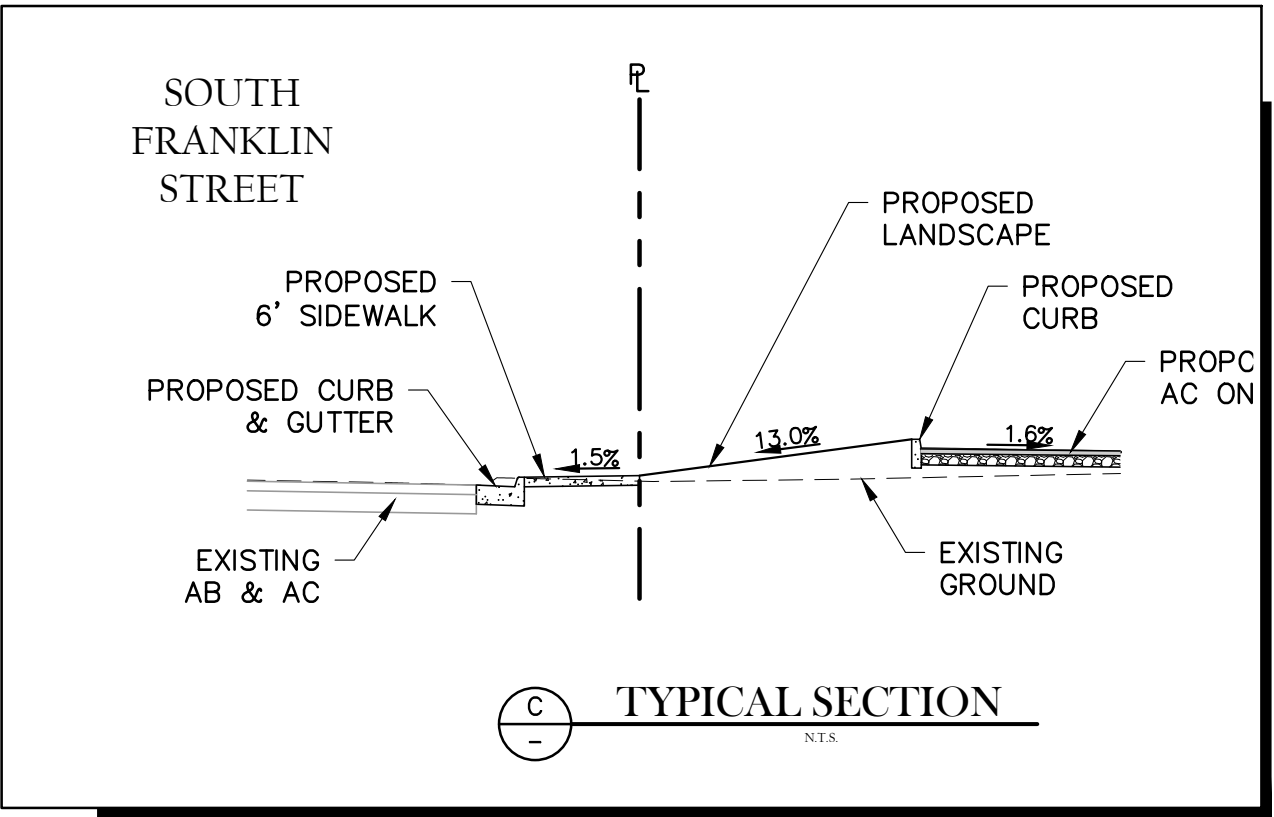
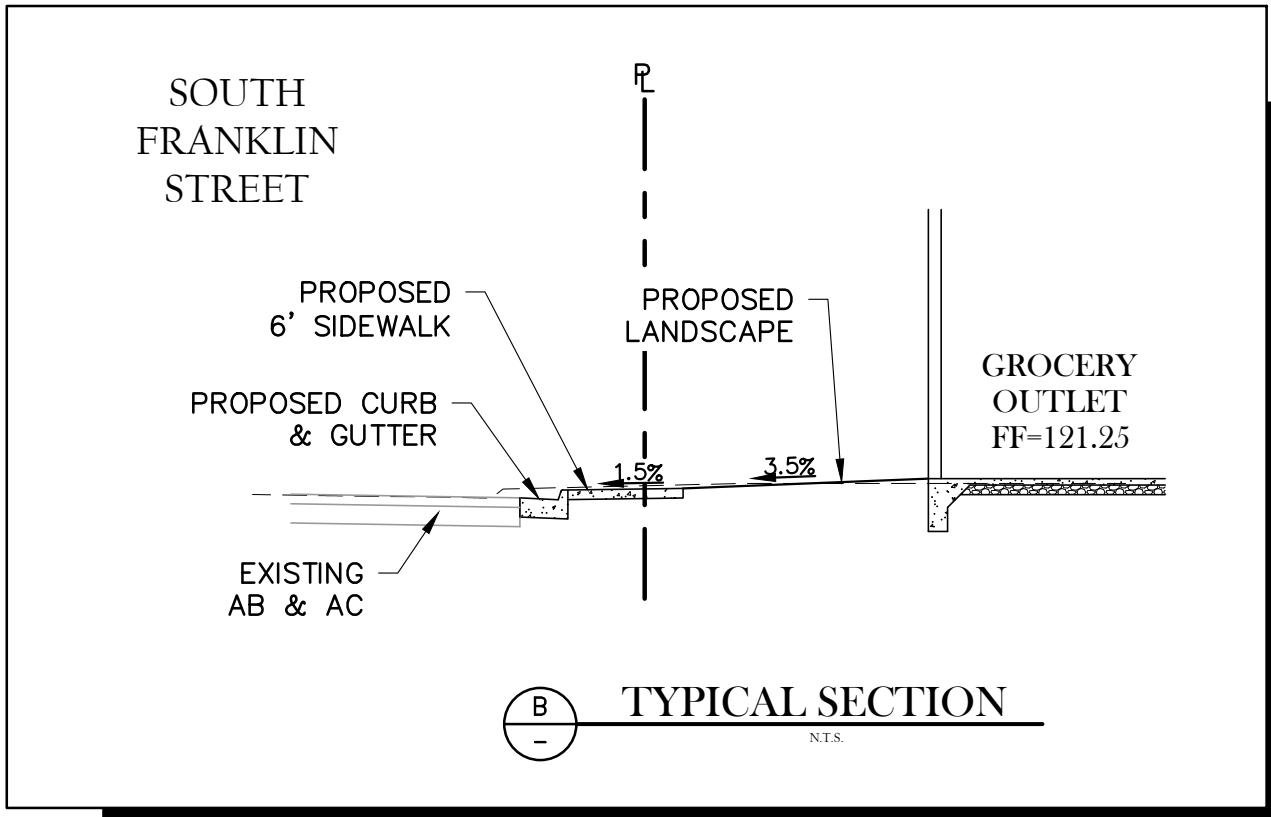
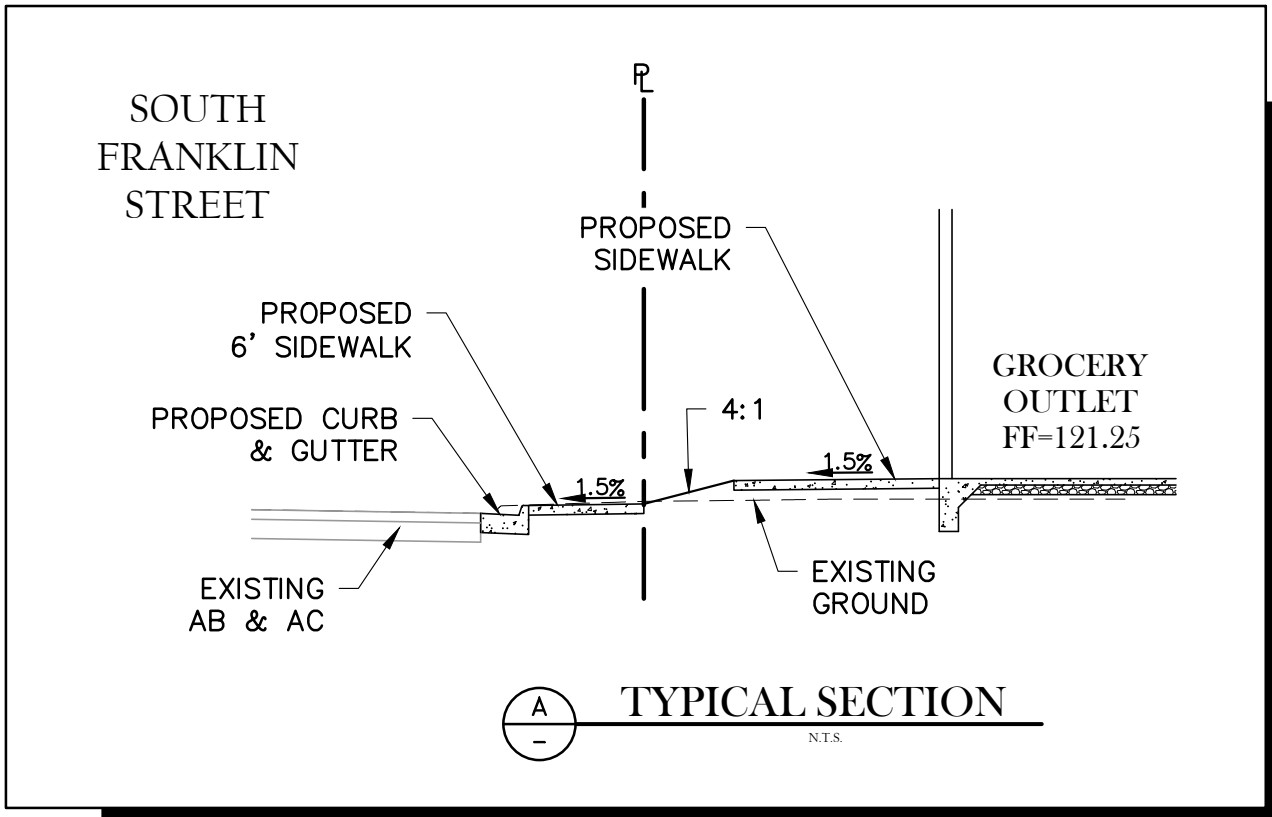
PRELIMINARY GRADING PLAN
JUNE 30, 2021

TSD ENGINEERING, INC.
expect more.

785 Orchard Drive, Suite #110
Folsom, CA 95630
Phone: (916) 608-0707
Fax: (916) 608-0701

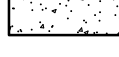
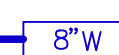
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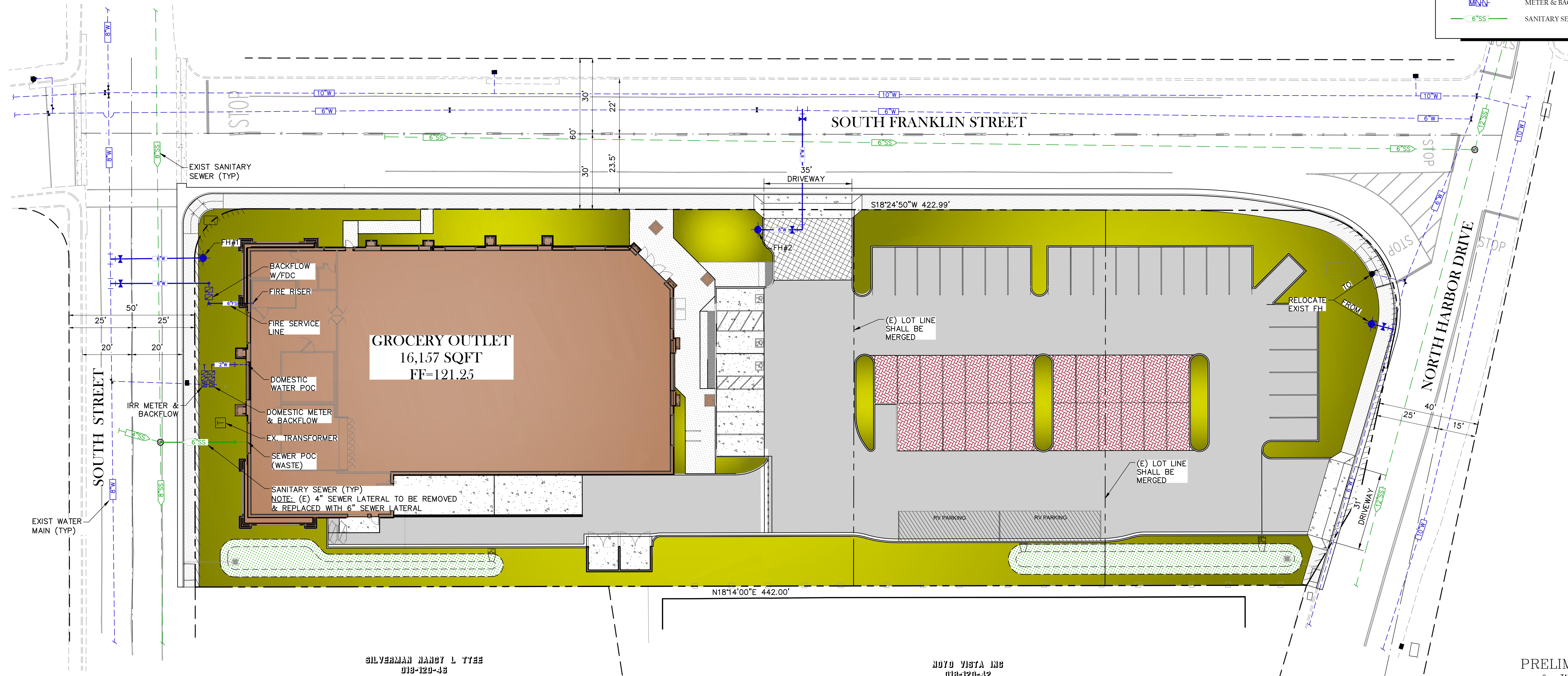
PRELIMINARY GRADING SECTIONS
BEST DEVELOPMENT GROUP
GROCERY OUTLET
825, 845, 851 SOUTH FRANKLIN STREET
FORT BRAGG, CA



PRELIMINARY SECTIONS
JUNE 30, 2021

PRELIMINARY SEWER & WATER PLAN
BEST DEVELOPMENT GROUP
GROCERY OUTLET
825, 845, 851 SOUTH FRANKLIN STREET
FORT BRAGG, CA

UTILITY PLAN LEGEND	
	ASPHALT PAVEMENT
	BUILDING AREA
	LANDSCAPE AREA
	P.C.C. CONCRETE
	BIO RETENTION BASIN
	CONCRETE SIDEWALK
	PERMEABLE PAVEMENT
	DECORATIVE PAVEMENT
	WATER MAIN
	FIRE SERVICE
	FIRE DEPARTMENT CONNECTION (FDC)
	METER & BACKFLOW
	SANITARY SEWER



PRELIMINARY SEWER
& WATER PLAN
JUNE 30, 2021



PRELIMINARY STORM WATER MANAGEMENT PLAN

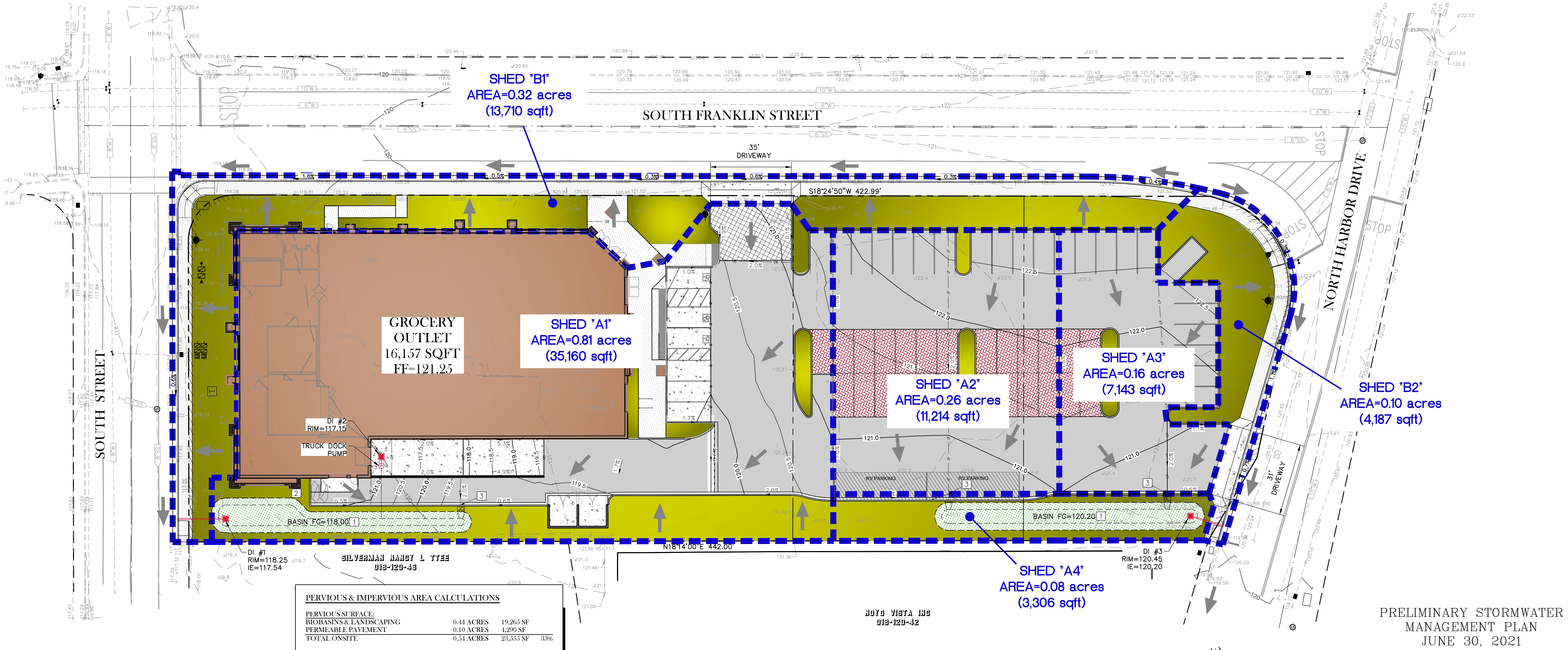
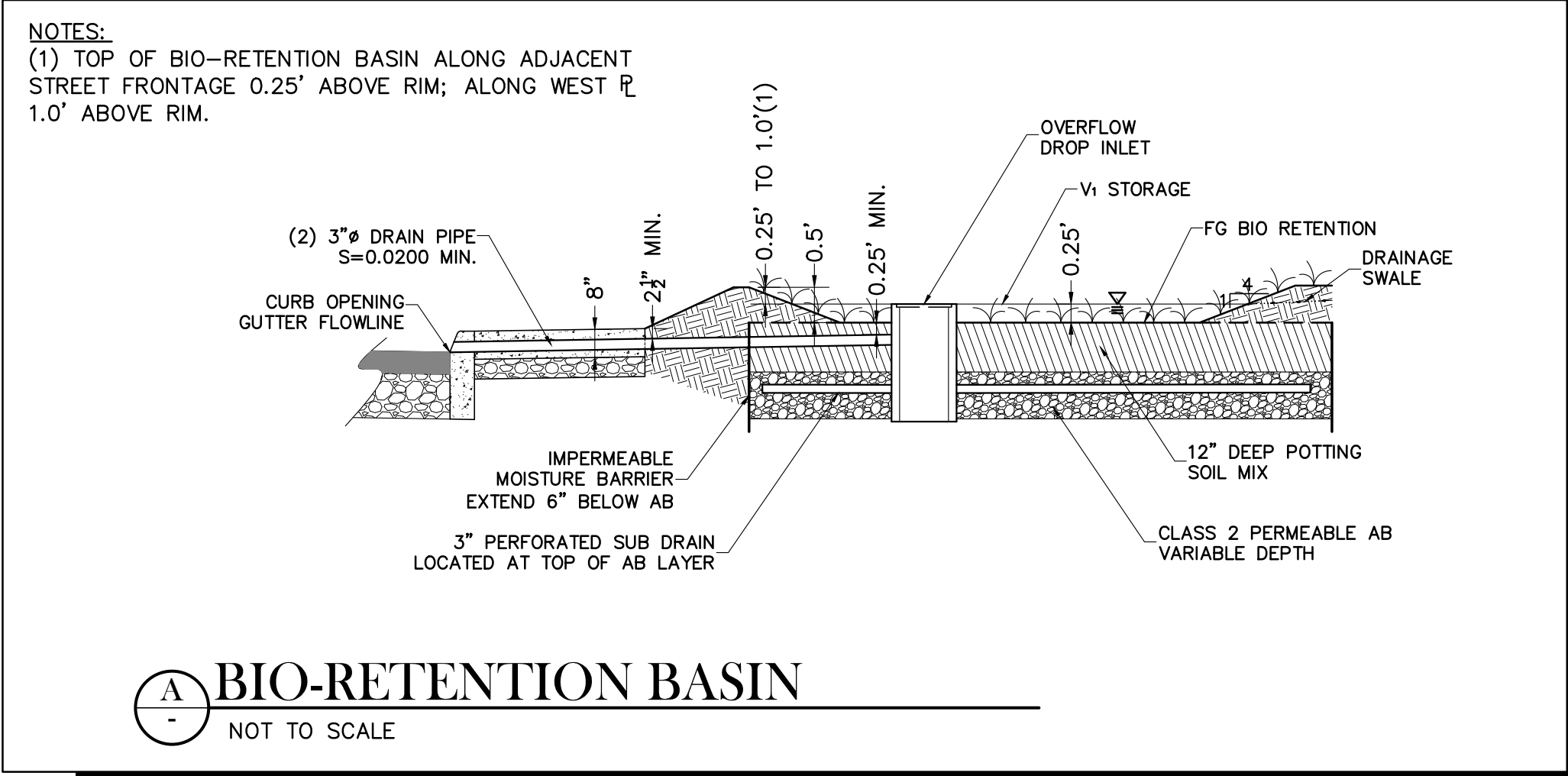
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GROCERY OUTLET

825, 845, 851 SOUTH FRANKLIN STREET
FORT BRAGG, CA

SITE LEGEND

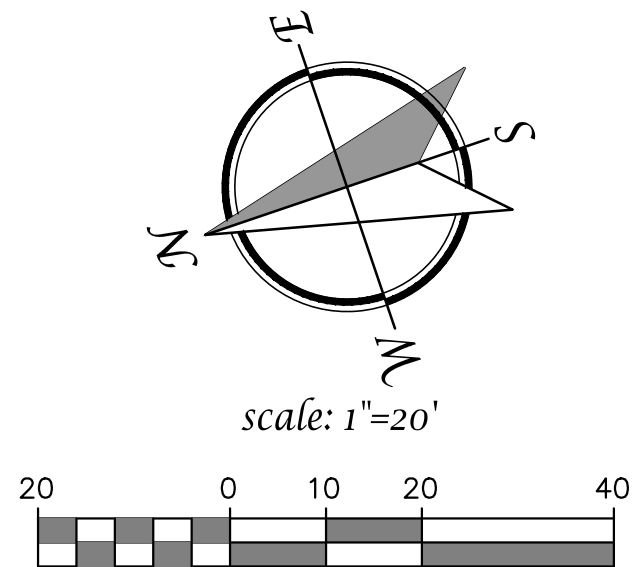
- DRAINAGE INLET
- ASPHALT PAVEMENT
- BUILDING AREA
- LANDSCAPE AREA
- P.C.C. CONCRETE
- BIO RETENTION BASIN
- CONCRETE SIDEWALK
- PERMEABLE PAVEMENT
- DECORATIVE PAVEMENT
- OVERLAND RELEASE



PERVIOUS & IMPERVIOUS AREA CALCULATIONS

PERVIOUS SURFACE:			
BIOBASINS & LANDSCAPING	0.44 ACRES	19,265 SF	
PERMEABLE PAVEMENT	0.10 ACRES	4,290 SF	
TOTAL ONSITE	0.54 ACRES	23,555 SF	33%
IMPERVIOUS SURFACE:			
ONSITE:			
AC/CONC PARKING & DRIVE AISLES		23,126 SF	
CONC TRUCK DOCK		1,252 SF	
TRASH ENCLOSURE		314 SF	
SIDEWALKS & HARDSCAPE		1,687 SF	
BUILDING FOOTPRINT		16,157 SF	
TOTAL ONSITE	0.97 ACRES	42,536 SF	60%
OFFSITE:			
PUBLIC SIDEWALK		4,070 SF	
DRIVEWAYS		754 SF	
TOTAL OFFSITE	0.11 ACRES	4,824 SF	7%
TOTAL AREA (PERVIOUS & IMPERVIOUS):	1.63 ACRES	70,915 SF	100%

- STORM WATER BMP NOTES**
- 1 BIO-RETENTION BASIN
 - 2 RWL DISCHARGE TO LANDSCAPE ROOF RAINWATER DISCONNECT
 - 3 LANDSCAPE DISCONNECT - PAVEMENT DISCONNECT PRIOR TO BIO-RETENTION



PRELIMINARY STORMWATER
MANAGEMENT PLAN
JUNE 30, 2021

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