



City of Fort Bragg

416 N Franklin Street
Fort Bragg, CA 95437
Phone: (707) 961-2823
Fax: (707) 961-2802

Meeting Agenda Planning Commission

Wednesday, March 30, 2022

6:00 PM

Town Hall, 363 N.Main Street
and via Video Conference

Special Meeting

MEETING CALLED TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

ZOOM WEBINAR INVITATION

You are invited to a Zoom webinar.

When: Mar 30, 2022 06:00 PM Pacific Time (US and Canada)

Topic: Planning Commission Meeting

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/82399242018>

Or One tap mobile :

US: +12532158782,,82399242018# or +13462487799,,82399242018#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 253 215 8782 or +1 346 248 7799

Webinar ID: 823 9924 2018

1. PUBLIC COMMENTS ON: (1) NON-AGENDA & (2) CONSENT CALENDAR

ITEMS

MANNER OF ADDRESSING THE PLANNING COMMISSION: All remarks and questions shall be addressed to the Planning Commission; no discussion or action will be taken pursuant to the Brown Act. No person shall speak without being recognized by the Chair or Acting Chair. Public comments are restricted to three (3) minutes per speaker.

TIME ALLOTMENT FOR PUBLIC COMMENT ON NON-AGENDA ITEMS: Thirty (30) minutes shall be allotted to receiving public comments. If necessary, the Chair or Acting Chair may allot an additional 30 minutes to public comments after Conduct of Business to allow those who have not yet spoken to do so. Any citizen, after being recognized by the Chair or Acting Chair, may speak on any topic that may be a proper subject for discussion before the Planning Commission for such period of time as the Chair or Acting Chair may determine is appropriate under the circumstances of the particular meeting, including number of persons wishing to speak or the complexity of a particular topic. Time limitations shall be set without regard to a speaker's point of view or the content of the speech, as long as the speaker's comments are not disruptive of the meeting.

BROWN ACT REQUIREMENTS: The Brown Act does not allow action or discussion on items not on the agenda (subject to narrow exceptions). This will limit the Commissioners' response to questions and requests made during this comment period.

WRITTEN PUBLIC COMMENTS: To submit written public comments to the Planning Commissioners, email CDD@fortbragg.com. Any written public comments received after agenda publication will be forwarded to the

Commissioners as soon as possible after receipt and will be available for inspection at City Hall, 416 N. Franklin Street, Fort Bragg, California. All comments will become a permanent part of the agenda packet on the day after the meeting or as soon thereafter as possible, except those written comments that are in an unrecognized file type or too large to be uploaded to the City's agenda software application.

2. STAFF COMMENTS

3. MATTERS FROM COMMISSIONERS

4. CONSENT CALENDAR

All items under the Consent Calendar will be acted upon in one motion unless a Commissioner requests that an individual item be taken up under Conduct of Business.

- 4A. [22-132](#) Minutes of the March 9, 2022 Planning Commission Meeting

Attachments: [Minutes of the March 9, 2022 Planning Commission Meeting](#)

- 4B. [22-151](#) Minutes of the June 23, 2022 Planning Commission Meeting

Attachments: [Minutes of the March 23, 2022 Planning Commission Meeting](#)

5. DISCLOSURE OF EX PARTE COMMUNICATIONS ON AGENDA ITEMS

6. PUBLIC HEARINGS

- 6A. [22-138](#) Receive Report, Hold a Public Hearing, and Consider Adoption of a Resolution Approving Coastal Development Permit (CDP) 11-19, Use Permit (UP) 2-19, and Design Review (DR) 4-22

Attachments: [Thompson's Porta Septic Service Staff Report](#)

[Attachment 1 - Draft Resolution](#)

[Attachment 2 - Site Photos](#)

[Attachment 3 - Industry Best Practices](#)

[Attachment 4 - Thompson's Porta Septic Presentation](#)

[Attachment 5 - Notice of Public Hearing](#)

- 6B. [22-152](#) Receive Report, Hold a Public Hearing, and Consider Recommendation to City Council to Adopt the Draft 2022 Citywide Design Guidelines

Attachments: [03302022 Design Guidelines Report](#)

[Attachment 1. Resolution](#)

[Attachment 2. Draft 2022 Citywide Design Guidelines](#)

[Attachment 4. Design Guidelines Update Presentation](#)

[Attachment 5. Notice of Public Hearing](#)

7. CONDUCT OF BUSINESS

ADJOURNMENT

The adjournment time for all Planning Commission meetings is no later than 9:00 p.m. If the Commission is still in session at 9:00 p.m., the Commission may continue the meeting upon majority vote.

STATE OF CALIFORNIA)
)ss.
COUNTY OF MENDOCINO)

I declare, under penalty of perjury, that I am employed by the City of Fort Bragg and that I caused this agenda to be posted in the City Hall notice case on March 25, 2022.

Sarah Peters
Administrative Assistant, Community Development Department

NOTICE TO THE PUBLIC

Materials related to an item on this agenda submitted to the Commission after distribution of the agenda packet are available for public inspection in the Community Development Department at 416 North Franklin Street, Fort Bragg, California, during normal business hours. Such documents are also available on the City’s website at www.fortbragg.com subject to staff’s ability to post the documents before the meeting.

ADA NOTICE AND HEARING IMPAIRED PROVISIONS:

It is the policy of the City of Fort Bragg to offer its public programs, services and meetings in a manner that is readily accessible to everyone, including those with disabilities. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities.

If you need assistance to ensure your full participation, please contact the City Clerk at (707) 961-2823. Notification 48 hours in advance of any need for assistance will enable the City to make reasonable arrangements to ensure accessibility.

This notice is in compliance with the Americans with Disabilities Act (28 CFR, 35.102-35.104 ADA Title II).



City of Fort Bragg

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Text File

File Number: 22-132

Agenda Date: 3/23/2022

Version: 1

Status: Passed

In Control: Planning Commission

File Type: Minutes

Agenda Number: 4A.

Minutes of the March 9, 2022 Planning Commission Meeting



City of Fort Bragg

416 N Franklin Street
Fort Bragg, CA 95437
Phone: (707) 961-2823
Fax: (707) 961-2802

Meeting Minutes Planning Commission

Wednesday, March 9, 2022

6:00 PM

Town Hall, 363 N. Main Street
and Via Video Conference

MEETING CALLED TO ORDER

Chair Logan called the meeting to order at 6:00 PM.

PLEDGE OF ALLEGIANCE

ROLL CALL

Present 5 - Chair Jeremy Logan, Vice Chair Michelle Roberts, Commissioner Jay Andreis, Commissioner Stan Miklose, and Commissioner Nancy Rogers

1. PUBLIC COMMENTS ON: (1) NON-AGENDA & (2) CONSENT CALENDAR ITEMS

Public Comments on Non-Agenda Items: Jacob Patterson

Public Comments on Consent Calendar Items: None.

2. STAFF COMMENTS

None.

3. MATTERS FROM COMMISSIONERS

Commissioner Andreis announced the upcoming Blue Economy Symposium and Learning Festival; a two-day event happening in May on the possibilities of bringing the blue economy to Fort Bragg.

Vice Chair Roberts clarified that Commissioners did not intend to say at a prior meeting that cannabis businesses are incompatible with residential neighborhoods as was stated by staff at a recent City Council meeting.

Commissioner Rogers would like to know what staff learned about City Council and I.T. staff opinions on hybrid meetings in the future.

4. CONSENT CALENDAR

Item 4A. was removed from the Consent Calendar.

ITEMS REMOVED FROM CONSENT CALENDAR

4A. [22-110](#) Minutes of the February 23, 2022 Planning Commission Meeting

Commissioner Rogers stated that at the last meeting, Commissioners had discussed including in the Planning Commission By-Laws information about the process for appointing Commissioners and terms of service. Staff agreed this had been discussed but was not part of the motion that was brought forward for a vote. After discussion about how to handle this item it was decided staff would bring forward a revised Resolution and set of By-Laws at the next Planning Commission meeting for review.

A motion was made by Chair Logan, seconded by Commissioner Rogers, that these Minutes be approved. The motion carried by the following vote:

Aye: 5 - Chair Logan, Commissioner Andreis, Commissioner Miklose, Vice Chair Roberts and Commissioner Rogers

5. DISCLOSURE OF EX PARTE COMMUNICATIONS ON AGENDA ITEMS

None.

6. PUBLIC HEARINGS

6A. [22-105](#) Consider Adoption of a Resolution Recommending that City Council Adopt Inland Land Use and Development Code Amendment 1-22 to Regulate Commercial Cannabis Cultivation and Amend Existing Regulations for Cannabis Businesses in Commercial Zones.

At 6:06 PM Chair Logan reopened the public hearing that was continued from February 23, 2022.

Associate Planner Gurewitz presented the prepared report. She and City Consultant Marie Jones responded to Commissioners' clarifying questions, which included the subjects of youth centers, potential impacts of new buffers on existing cannabis businesses, and the definition of Accessory Use.

Public Comment:

-Jacob Patterson.

Chair Logan closed the public hearing at 6:38 PM.

Discussion:

Under deliberation, Commissioners discussed sensitive use categories; buffer configurations; limitation on the number of cannabis businesses in the Central Business District; clarification of cannabis business categories and terminology; and accessory uses.

A motion was made by Commissioner Rogers, seconded by Chair Logan, that these deliberations be continued to March 23, 2022. The motion carried by the following vote:

Aye: 5 - Chair Logan, Commissioner Andreis, Commissioner Miklose, Vice Chair Roberts and Commissioner Rogers

7. CONDUCT OF BUSINESS

ADJOURNMENT

Chair Logan adjourned the meeting at 8:04 PM.

Jeremy Logan, Chair

Sarah Peters, Administrative Assistant

IMAGED (_____)



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Text File

File Number: 22-151

Agenda Date: 3/30/2022

Version: 1

Status: Passed

In Control: Planning Commission

File Type: Minutes

Agenda Number: 4B.

Minutes of the June 23, 2022 Planning Commission Meeting



City of Fort Bragg

416 N Franklin Street
Fort Bragg, CA 95437
Phone: (707) 961-2823
Fax: (707) 961-2802

Meeting Minutes Planning Commission

Wednesday, March 23, 2022

6:00 PM

Town Hall, 363 N. Main Street
and Via Video Conference

MEETING CALLED TO ORDER

Chair Logan called the meeting to order at 6:00 PM.

PLEDGE OF ALLEGIANCE

ROLL CALL

Present 5 - Chair Jeremy Logan, Vice Chair Michelle Roberts, Commissioner Jay Andreis, Commissioner Stan Miklose, and Commissioner Nancy Rogers

1. PUBLIC COMMENTS ON: (1) NON-AGENDA & (2) CONSENT CALENDAR ITEMS

Public Comment on Non-Agenda items was received from Jacob Patterson.

2. STAFF COMMENTS

None.

3. MATTERS FROM COMMISSIONERS

Commissioner Miklose stated that he spoke to Lyndia Pyeatt this week over concerns about her property, and suggested she bring them before the Planning Commission this evening. Commissioner Andreis reminded everyone about the Blue Economy Symposium and Learning Festival happening in Fort Bragg on May 19-22. He also requested staff reach out to City Council on the subject of the City hiring its own in-house building inspector.

4. CONSENT CALENDAR

A motion was made by Commissioner Andreis, seconded by Commissioner Rogers, that the Consent Calendar be approved. The motion carried by the following vote:

Aye: 5 - Chair Logan, Vice Chair Roberts, Commissioner Andreis, Commissioner Miklose and Commissioner Rogers

A. [22-132](#) Minutes of the March 9, 2022 Planning Commission Meeting

5. DISCLOSURE OF EX PARTE COMMUNICATIONS ON AGENDA ITEMS

Commissioner Miklose stated that he spoke with Lyndia Pyeatt during the week in regard to her concerns about her property.

6. PUBLIC HEARINGS

6A. [22-127](#)

Receive Report, Hold a Public Hearing, and Consider Recommending to the Fort Bragg City Council Adding Chapter 18.42.200 “Movable Tiny Homes” and Modifications to Section 18.42.110 “Mobile/Manufactured Homes and Mobile Home Parks” to the City of Fort Bragg Inland Land Use and Development Code.

Chair Logan opened the Public Hearing at 6:06 PM.

Assistant Planner Locke presented the prepared report and responded to Commissioners' clarifying questions.

Public Comment was received from Mary Chamberlain, Jacob Patterson, and Johanna Jensen.

Chair Logan closed the public hearing at 6:45 PM.

Discussion: Under deliberation, Commissioners' discussion included the number of lots allowed per lot, lot coverage applicability, disallowing them as a primary residence, lot coverage, storage units, setbacks and parking spaces, roof decks, roof pitch requirements, pad type and materials, plumbing and electrical utility hook-ups, fire inspection requirements, annual permit updates, privacy and safety concerns, and owner occupancy. The draft ordinance was modified to reflect areas of concern where there was agreement by a majority of Commissioners.

Planning Commission directed that staff revise the draft ordinance while they heard Item 6B, and following that matter, they reconvened deliberations on Item 6A.

Chair Logan recessed the meeting at 8:28 PM; the meeting reconvened at 8:33 PM.

A motion was made by Chair Logan, seconded by Commissioner Andreis, that this Planning Resolution be adopted with the noted modifications to the draft ordinance. The motion carried by the following vote:

Aye: 5 - Chair Logan, Vice Chair Roberts, Commissioner Andreis, Commissioner Miklose and Commissioner Rogers

Enactment No: RES PC04-2022

6B. [22-130](#)

Receive Report, Continue Deliberations, and Consider Adoption of a Resolution Recommending that City Council Adopt the Inland Land Use and Development Code Amendment #1-22 which Includes New Regulations for Commercial Cannabis Cultivation, Cannabis Retail and Cannabis Retail-Delivery.

City Consultant Jones presented the staff report on this agenda item, highlighted changes made after publication, and walked Commissioners through the red-lined draft ordinance.

Public Comment was received from Jacob Patterson, Lyndia Pyeatt, and Anson Pyeatt.

Discussion: Under deliberation, which was continued from the March 9, 2022 Planning Commission meeting, Commissioners discussed formatting of zones in the Cannabis Accessory Use section, limiting the number of cannabis businesses to three in the Central Business District, and alternative approaches to handling the proposed East/West Franklin Street division. Among other modifications that were agreed upon, the majority of Commissioners were in support of requiring a Minor Use Permit for all accessory and retail cannabis sales west of Franklin Street, and of not allowing accessory or retail Cannabis sales east of Franklin Street.

A motion was made by Vice Chair Roberts, seconded by Commissioner Rogers, that this Planning Resolution be adopted with the noted modifications to the

draft ordinance. The motion carried by the following vote:

Aye: 4 - Chair Logan, Vice Chair Roberts, Commissioner Miklose and Commissioner Rogers

No: 1 - Commissioner Andreis

Enactment No: RES PC05-2022

7. CONDUCT OF BUSINESS

ADJOURNMENT

Chair Logan adjourned the meeting at 8:44 PM.

Jeremy Logan, Chair

Sarah Peters, Administrative Assistant

IMAGED (_____)



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Text File

File Number: 22-138

Agenda Date: 3/30/2022

Version: 1

Status: Passed

In Control: Planning Commission

File Type: Planning Resolution

Agenda Number: 6A.

Receive Report, Hold a Public Hearing, and Consider Adoption of a Resolution Approving Coastal Development Permit (CDP) 11-19, Use Permit (UP) 2-19, and Design Review (DR) 4-22

AGENCY: Planning Commission
MEETING DATE: March 30, 2022
PREPARED BY: Kevin Locke
PRESENTED BY: Kevin Locke

AGENDA ITEM SUMMARY REPORT

APPLICATION NO.: Coastal Development Permit (CDP) 11-19, Use Permit (UP) 2-19, & Design Review (DR) 4-22

OWNER: Eastman Family Trust

APPLICANT: Thompson's Porta Septic Service Inc.

PROJECT: Outdoor storage of porta-potties and supplies. Truck to truck waste transfer

LOCATION: 1241 N Main Street

APN: 069-232-12-00

LOT SIZE: 30,668 Sq. Ft.

ZONING: Heavy Industrial

ENVIRONMENTAL DETERMINATION: This project is exempt pursuant to CEQA per California Code of Regulations §15303 (c) Categorical Exemption for "New Construction or Conversion of Small Structures"

SURROUNDING LAND USES: NORTH: Superior Pump Services
EAST: Single Family Residence
SOUTH: Geo Aggregates
WEST: MacKerricher State Park

APPEALABLE PROJECT: **Can be appealed to City Council**
 Can be appealed to California Coastal Commission

BACKGROUND & PROJECT DESCRIPTION

The project site is a 0.70 acre parcel in the northwest portion of the City at 1241 N Main Street. The site was a generally vacant lot with miscellaneous ground disturbances in the past. The City was made aware by an anonymous member of the public on July 17, 2017 that the vacant lot had been converted into a porta-potty/outdoor storage lot without the City's review first. Staff requested that the business owner submit an application for a Coastal Development Permit, Design Review, and Use Permit. The City's Coastal Land Use & Development Code (CLUDC) requires these entitlements for outdoor storage in the coastal zone.

Existing Operation

The main operations of the site are for the storage of portable toilets, fleet vehicles, and miscellaneous accessories. Units are loaded onto trucks along with supplies necessary to stock the units such as soap, paper towels, and toilet paper. All servicing of the toilets are done on-site and returned to the site cleaned and dry. Beyond the outdoor storage, truck to truck transfers of waste occur on site. Detailed explanations of operations can be found in **Attachment 3**. The proposed site map of operations can be seen on **Figure 1**. The applicants are seeking to maintain these operations on site through CDP, DR, and UP approval.

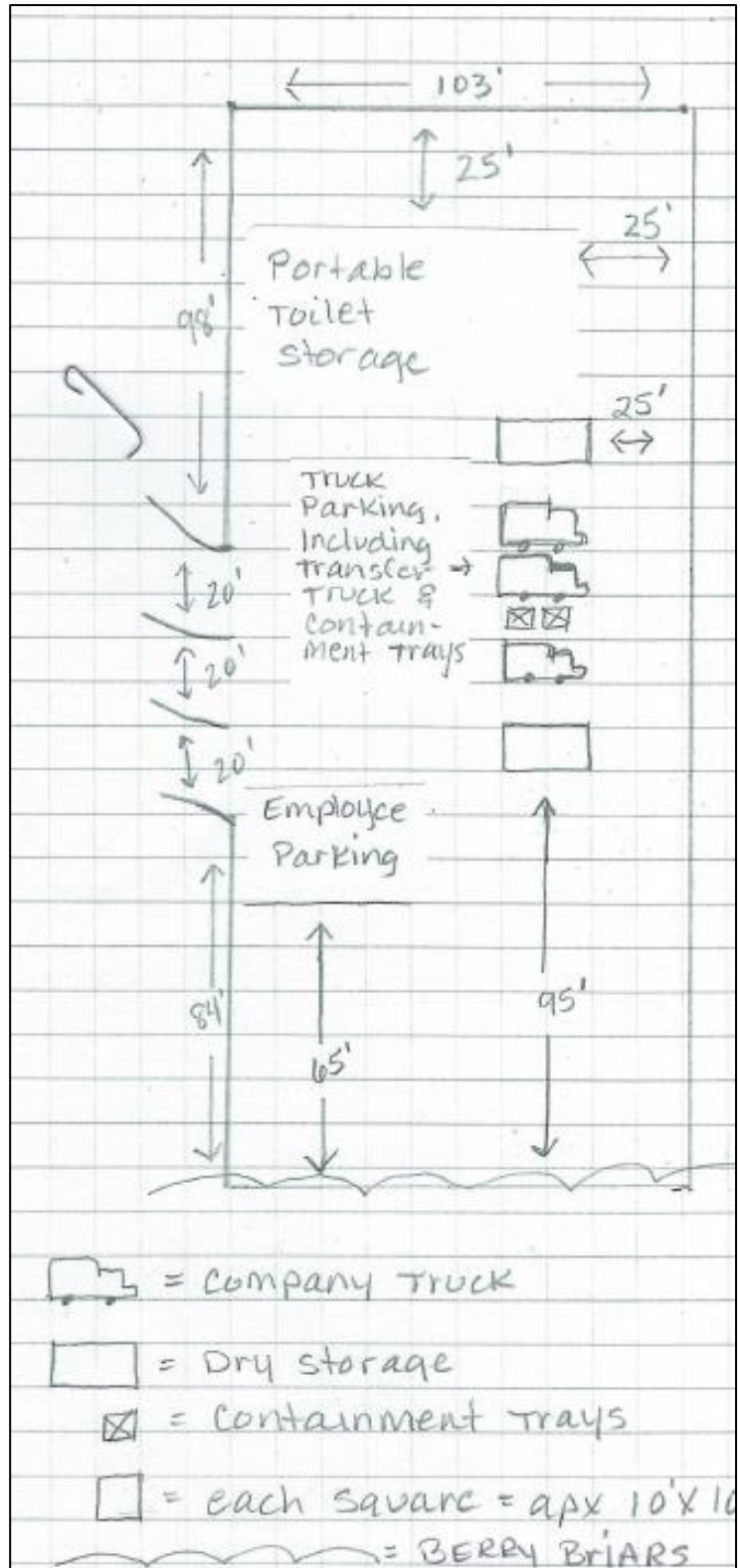


Figure 1 – Site Map

CONSISTENCY WITH PLANNING POLICIES

The CLUDC classifies and regulates the uses of land and structures within the City. The CLUDC considers the proposed use “outdoor storage,” and specifically defines the use as follows:

“CLUDC Section 17.100.020. Storage – Outdoor. The storage of various materials outside of a structure other than fencing, either as an accessory or primary use.”

The subject parcel is zoned Heavy Industrial (IH). CLUDC Section 17.24.030 identifies the uses of land permitted in the industrial zoning districts, and the planning permit required to establish particular uses. Outdoor storage is an allowable use in the IH district with an approved use permit. The CLUDC references section 17.42.140 for standards and requirements necessary for the approval of a Use Permit for outdoor storage. These referenced regulations are discussed in greater detail later in this report.

In addition to regulating uses, the CLUDC includes multiple site planning and project design standards applicable to the project. Staff analyzed the project’s consistency with these standards, and identified special conditions to make the project consistent.

Fencing: The proposed site plan or project description does not include plans for fencing. Per 17.42.170(A) – Outdoor Storage *“Outdoor storage areas shall be entirely enclosed by a solid wall or fence as approved by the reviewing authority with a minimum height of six feet and a maximum height of eight feet”*. As well, section 17.42.140(B) states that *“the materials within the storage areas shall not be higher than the fence, except where authorized by the Use Permit for storage area”*. As shown in attachment 2, the site has numerous natural and manmade features which obscure the view of the site.

The average height of a porta-potty is roughly 7’4”, so any proposed fence should be at or above that height unless otherwise determined by Planning Commission. Also, per 17.30.050(B)(1), a fence that is greater than 6ft shall require a building permit. Therefore, staff are proposing the following special conditions:

Special Condition #1: The applicant shall install a screening fence where determined by the reviewing authority consistent with Coastal Land Use & Development Code section 17.30.050 – Fences, Walls, and Screening.

Special Condition #2: Should the fence exceed 6 feet in height, the applicant shall apply for a building permit.

Landscaping: Per 17.34.020(A), *“Each new nonresidential and multi-family residential project shall provide landscaping in compliance with this Chapter”*. At this time, the applicant is not proposing any new landscaping and intends to leave any remaining foliage in its natural state. Generally, landscaping shall be provided on site in the setbacks, unused areas, and parking areas. However, per section 17.34.050(A)(2) and 17.34.050(B)(2), landscaping may not be required in the setbacks and unused areas if the applicant maintains the site in its natural state and it meets the purposes of the landscaping chapter. Parking lot landscaping will be analyzed in the parking section below.

The purpose of the landscaping standards is *“to enhance the appearance of development projects, reduce heat and glare, control soil erosion, conserve water, screen potentially incompatible land uses, preserve the integrity of neighborhoods, improve air quality, and improve pedestrian and vehicular traffic and safety”*. Staff are proposing to waive the landscaping requirements for the setback and unused areas. See staff analysis of the purpose below. Ultimate discretion on waiving these requirements is with the reviewing authority.

- **Enhance the appearance of development projects:** The project site is heavily obscured and located in a heavy industrial zoning district where function comes in front of form. As well, **Special Condition #1** will screen any aesthetic incompatibility.
- **Reduce heat and glare:** The structures proposed on site will be minimal and will vary depending on the time of year, so impacts to heat and glare will be minimal.
- **Control soil erosion:** The existing site soil is heavily compacted and uses the existing natural landscape to control soil erosion. No structures or ground disturbance will occur on site beyond minimal disturbance due to **Special Condition #1**; therefore, there will be less than significant impact to soil erosion.
- **Conserve water:** The existing landscape uses no water, whereas additional landscaping may require additional water use through upkeep.
- **Screen potentially incompatible land uses:** With **Special Condition #1**, the site will be screened from any “incompatible” land uses.
- **Preserve the integrity of neighborhoods:** The site is not located in a neighborhood.
- **Improve air quality:** The existing site will act as outdoor storage and will have minimal impact to air quality. The Porta-potties will be dry-stored on site and odorless.
- **Improve pedestrian and vehicular traffic and safety:** The site is not open to the public, and the only vehicles entering the site are employee-operated vehicles. There is a maximum of 10-15 vehicles entering and exiting per day. No landscaping will have a less than significant impact to pedestrian and vehicular traffic and safety.

Should the findings for not requiring landscaping be insufficient to the Commission, Staff recommends the following optional condition:

1. **Optional Special Condition #1: The applicant shall submit a landscape plan for the site in compliance with Chapter 17.34 “Landscaping Standards” of the CLUDC.**

Parking: Per 17.36.020(A), off street parking is required for each land use and structure, including a change or expansion of land use or structure. As well, spaces shall be permanent and clearly marked. For outdoor storage, it is required that there be one space for each 3000 Sq. Ft. of lot area. Since the site is roughly 30,000 square feet, 10 spaces would be required.

However, the applicants have an existing permitted paved parking pad at their adjacent office at 1251 N Main Street. Based on 17.36.040(a), each land use shall provide off-street parking, except where greater or lesser number of spaces are required through Use Permit approval. The City discourages excessive parking spaces in order to avoid the inefficient use of land, unnecessary pavement, and excessive storm water runoff. As the site is not open to the public, and the applicants have used their existing facilities to adequately serve their vehicles,

staff believe additional parking spaces are not necessary and would be excessive. Currently the applicants do use both sites to park their vehicles, so in order to ensure a uniform use of land and compliance with chapter 17.36, staff are proposing the following condition:

Special Condition #3: Outside of necessary business operations, the applicants shall park their vehicles at 1251 North Main Street.

Should Planning Commission determine that parking is still necessary for the site; staff have prepared the following optional special condition:

2. Optional Special Condition #2: The applicant shall install ten parking spaces in compliance with Chapter 17.36 Parking and Loading on 1241 N Main Street.

LOCAL COASTAL PROGRAM & COASTAL RESOURCES

The Coastal Land Use & Development Code Section 17.71.045(l)(2)(a) requires that the finding be made that a proposed project is in conformity with the City of Fort Bragg's certified Local Coastal Program and will not adversely affect coastal resources.

Cultural Resources – The proposed project is located on a heavily impacted site due to the surrounding heavy industrial uses. The land is heavily compacted through use over the years. Ground disturbance will be minimal as the only disturbance involved with this project is the required installation of a screening fence. Should any materials of archaeological significance be unearthed during construction activities (i.e. shell fragments, stone tools, etc.), all activities would be required to be halted while the finds are investigated by a qualified archaeologist. This is listed as a standard condition of all permits.

Public Access – See “supplemental findings required by 17.56.070 for projects between the first public road and the sea” section for analysis of impact on public access.

Environmentally Sensitive Habitat Areas – On July 5, 2019 a botanical analysis was conducted for the site to determine if the project would have a significant adverse environmental impact to special status species. The result of the study found no California Native Plant Society (CNPS) 1A, 1B, 2A, or 2B species on site. Based on the fact that the botanical study did not find any special status plant species and the applicants are not proposing removal of any vegetation, the project would result in little to no impact to Environmentally Sensitive Habitat Areas (ESHAs).

Water Supply, Sewage Disposal, Solid Waste, and Public Roadway Capacity – The proposed project uses well water and properly disposes waste at numerous sites as described in Attachment 4. The City of Fort Bragg recently opened the septage receiving station at the Waste Water Treatment Plant to allow businesses to dispose of waste, allowing for further capacity to support Thompson's.

Impact on roadways would be minimal, expected traffic entering and exiting the site is roughly a combined 10-15 trips daily.

Visual Resources – Overall, the site is difficult to view from public roads and pathways due to manmade and natural visual obstructions. Large piles of debris on Geo-aggregates, natural

berry bushes adjacent to MacKerricher State Park, and a private residence all work to substantially obscure the site from public view. As per special condition #1, the site will be required to use screening fencing which will further obscure the project from public view.

However, the project is located within Map CD-1, related to potentially scenic views toward the ocean or the Noyo River. Therefore, a project must comply with the findings within 17.50.070 Visual Resources. Those findings and staff analysis can be found below:

Finding	Staff Analysis
1. Minimize the alteration of natural landforms;	The project is not altering natural landforms in any way, therefore complying with this finding.
2. Is visually compatible with the character of the surrounding area;	The area is zoned as heavy industrial and the site is substantially surrounded by those uses. Outdoor storage of materials is typical for the area and the project does not present a use of land not typically found in the zone.
3. Is sited and designed to protect views to and along the ocean and scenic coastal areas; and	As mentioned earlier, the site is already very difficult to view from the public right of way from manmade and natural obstructions. This means the project is sited to avoid most visual impacts to the ocean and scenic coastal areas.
4. Restores and enhances visual quality in visually degraded areas, where feasible.	Due to the zone the project is located in, generally, function comes before form, so the area is not visually pleasing compared to other locations in town. So any additional development would add to visual degradation. Special Condition #1 would shield the proposed storage from public viewing and minimize impact to visual quality.

CONSISTENCY WITH GENERAL PLAN

Land Use Element

The zoning for the subject site is Heavy Industrial (IH) in the Coastal Zone. The proposed use is “Outdoor Storage” which is a conditionally allowed use in the Heavy Industrial zoning district. The proposed project is consistent with the following Land Use Policy.

Policy LU-7.3 Siting New Industrial Development: Site new industrial development so that it is contiguous with, or in close proximity to, existing developed areas able to accommodate it, or where such areas are not able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects on coastal resources, either individually or cumulatively.

The proposed site is in close proximity and adjacent to a heavily developed industrial area. In addition, the project will require minimal use of public services, and will be able to be served (if needed) by public services. The project uses well water and properly disposes of any waste generally created on site as described in “Water supply, sewage disposal, solid waste, and public roadway capacity”.

Public Facilities Element

The project does not fall into any of the goals, policies, and programs listed in this element, but it does not conflict with any of the goals, policies, and programs in this element.

Conservation, Open Space, Energy, and Parks Element

The project is consistent with the following Conservation chapter goals, policies and programs:

Policy OS-9.1: Minimize Introduction of Pollutants. Development shall be designed and managed to minimize the introduction of pollutants into coastal waters (including the ocean, estuaries, wetlands, rivers, streams, and lakes) to the extent feasible.

The applicants ensure pollutants are minimized through their solid waste disposal plan and discharge response plan. See **Attachment 3** for more detailed plans.

Policy OS-11.3: Minimize Impervious Surfaces. Development shall minimize the creation of impervious surfaces (including pavement, sidewalks, driveways, patios, parking areas, streets, and roof-tops), especially directly connected impervious areas, where feasible. Redevelopment shall reduce the impervious surface site coverage, where feasible. Directly connected impervious areas include areas covered by a building, impermeable pavement, and/or other impervious surfaces, which drain directly into the storm drain system without first flowing across permeable land areas (e.g., lawns)

The applicant is not proposing any ground disturbance and will continue to use pervious surfaces on site.

Circulation Element

The project does not fall into any of the goals, policies, and programs listed in this element, but it does not conflict with any of the goals, policies, and programs in this element.

Community Design Element

The project is consistent with the following Community Design goals, policies and programs:
Policy CD-1.1: Visual Resources: Permitted development shall be designed and sited to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural landforms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance scenic views in visually degraded areas.

The site is located behind existing natural and manmade view blockers. The proposed project is minimal in scope and is difficult to view from public right of ways. The site is in a depressed area that allows for views of the ocean from Highway One.

Policy CD-1.4: New development shall be sited and designed to minimize adverse impacts on scenic areas visible from scenic roads or public viewing areas to the maximum feasible extent.

The site is located behind existing natural and manmade view blockers. The proposed project is minimal in scope and is difficult to view from public right of ways. The project is in a location that minimizes potential view blockers to the extent feasible.

Policy CD-1.9: Exterior lighting (except traffic lights, navigational lights, and other similar safety lighting) shall be minimized, restricted to low intensity fixtures, and shielded so that no light shines beyond the boundary of the property.

The project proposes no lighting.

Policy CD-1.12 Maintain Unobstructed Views of the Ocean: Require new development north of Pudding Creek to leave unblocked views to the ocean from Highway One.

Due to where the project is sited, a large portion of unobstructed views of the ocean are available between the site and Superior Pump's adjacent property to the north.

Policy CD-2.6 Property Maintenance and Nuisances : Ensure that properties are well maintained and nuisances are abated.

Should this entitlement be approved, the property will be abated and code enforcement would cease.

Safety Element

The project does not fall into any of the goals, policies, and programs listed in this element, but it does not conflict with any of the goals, policies, and programs in this element.

Noise Element

The project does not fall into any of the goals, policies, and programs listed in this element, but it does not conflict with any of the goals, policies, and programs in this element.

Housing Element

The project does not fall into any of the goals, policies, and programs listed in this element, but it does not conflict with any of the goals, policies, and programs in this element.

COASTAL DEVELOPMENT PERMIT ANALYSIS

According to the City of Fort Bragg Coastal Land Use Development Code Section 17.7.045(l)(2), the approval of any Coastal Development Permit shall be supported by the following findings:

Finding	Staff Determination
The proposed development as described in the application and accompanying materials, as modified by any conditions of approval, is in conformity with the City of Fort Bragg's certified Local Coastal Program and will not adversely affect coastal resources;	See "Local Coastal Program" analysis. The proposed development is in compliance with the Local Coastal Program.
If the project is located between the first public road and the sea, that the project is in conformity with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Sections 30200 of the Public Resources Code);	This finding is made because the project will not impact public access. The current site is generally surrounded by industrial uses and is not meant for public access. There are ample recreational opportunities in the area adjacent to the site. See also, analysis within "Supplemental Findings Required By 17.56.070 For Projects Between the First Public Road And the Sea"
Feasible mitigation measures and/or alternatives have been incorporated to substantially lessen any significant adverse effects of the development on the environment;	The proposed project will have minimal impacts on the environment, so no mitigation measures have been proposed. There is no construction or grading involved for this project. As well, on July 5, 2019 a botanical analysis was conducted for the site to determine if the project would have a significant adverse environmental impact to special status species. The result of the study found no California Native Plant Society (CNPS) 1A, 1B, 2A, or 2B species on site. Based on the fact that the botanical study did not find any special status plant species and the applicants are not proposing removal of any vegetation, the applicants will complying with this finding.
The proposed use is consistent with the purposes of the zone in which the site is located;	The Heavy Industrial zoning district is appropriate for a range heavy industrial including manufacturing, assembly and processing, the storage and distribution of materials, aggregate plants, and related industrial uses that are generally compatible with and require locations removed from residential and visitor serving uses. As this is the storage of materials, the proposed project complies with one of the listed purposes of the Heavy Industrial Zoning District.
The proposed location of the use and conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity;	The project site is a 0.70 acre, square parcel that can demonstrably accommodate the design characteristics and operations of the proposed outdoor storage. The project was evaluated by the Planning and Public Works Department, and, as conditioned, found to be physically suitable in

	<p>terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle access and public services and utilities.</p> <p>As such, the project would not endanger, jeopardize, or otherwise constitute a hazard to the public interest, health, safety, convenience, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zoning district in which the property is located.</p>
<p>Services, including but not limited to, water supply, sewage disposal, solid waste, and public roadway capacity have been considered and are adequate to serve the proposed development.</p>	<p>The proposed project was reviewed by the City of Fort Bragg Public Works and Planning Department. These departments reviewed the project for access to water, sewage disposal, solid waste, electricity, and public roadway capacity. The use proposed is minimal in scope and all services have been deemed available and capable of handling the project if necessary.</p>
<p>Supplemental findings for projects located between the first public road and the sea required by Section 17.56.070 Required Findings and Supporting Analysis for Public Access Dedications of this Development Code.</p>	<p>See “supplemental findings required by 17.56.070 for projects between the first public road and the sea” below. The project complies with these findings.</p>

USE PERMIT FINDINGS

Finding	Staff Determination
<p>1. The proposed use is consistent with the General Plan, any applicable specific plan, and the Local Coastal Program;</p>	<p>As conditioned, and as previously analyzed in this staff report, the project would be consistent with the Coastal General Plan and certified LCP.</p>
<p>2. The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this Development Code and the Municipal Code;</p>	<p>The proposed use is allowed within the Heavy Industrial zoning district with a Use Permit. As discussed in this staff report, the project complies with the CLUDC and Fort Bragg Municipal Code.</p>
<p>3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity;</p>	<p>The Heavy Industrial zoning district is appropriate for a range heavy industrial including manufacturing, assembly and processing, the storage and distribution of raw materials, aggregate plants, and related industrial uses that are generally compatible with and require locations removed from residential and visitor serving uses. The use would be compatible with the existing industrial which substantially surrounds the site.</p>
<p>4. The site is physically suitable in terms of design, location, shape, size, operating</p>	<p>The project site is a 0.70 acre, square parcel that can demonstrably accommodate the design</p>

<p>characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities (e.g., fire protection, police protection, potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.), to ensure that the type, density, and intensity of use being proposed would not endanger, jeopardize, or otherwise constitute a hazard to the public interest, health, safety, convenience, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zoning district in which the property is located.</p>	<p>characteristics and operations of the proposed outdoor storage. The project was evaluated by the Planning and Public Works Department, and, as conditioned, found to be physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle access and public services and utilities.</p> <p>As such, the project would not endanger, jeopardize, or otherwise constitute a hazard to the public interest, health, safety, convenience, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zoning district in which the property is located.</p>
<p>5. The proposed use complies with any findings required by Section 17.22.030 (Commercial District Land Uses and Permit Requirements).</p>	<p>This finding is not applicable to the project as it is not located in a Commercial Zone.</p>

DESIGN REVIEW FINDINGS

Per Program CD-1.1.1 of the Coastal General Plan: Design review is required for new projects located in areas designated “Potential Scenic Views Toward the Ocean or Noyo River” on Map CD-1. The project is located in this area, therefore requires Design Review. Prior to approval of a project in this area, the following findings shall be made:

Finding	Staff Determination
Complies with the purpose and requirements of this Section;	The project scope is minimal in nature and as conditioned, will be in conformance with the purpose and requirements of Design Review.
Provides architectural design, building massing, and scale appropriate to and compatible with the site surroundings and the community;	The project does not involve the creation of permanent structures. However, the proposed use is minimal and will be smaller in scale compared to many of the uses in the area. The area is intended for industrial type uses, and as this use is industrial, will be compatible with the site surroundings and community.
Provides attractive and desirable site layout and design, including building arrangement, exterior appearance and setbacks, drainage, fences and walls, grading, landscaping, lighting, signs, etc.;	The project will be properly screened from any public viewing points using a durable and high quality material based on Special Condition #1. The project will comply with the setbacks. The project does not propose any grading, landscaping, lighting, or signs. As conditioned, the project will comply with this finding.
Provides efficient and safe public access, circulation, and parking;	The project does not involve the creation of any new parking and is not intended for public

	access. The applicants will utilize existing parking spaces on an adjacent site. However, if necessary, optional special condition #2 would allow for further compliance with this finding.
Provides appropriate open space and landscaping, including the use of water efficient landscaping;	No changes to the existing open space and landscaping are proposed. However, if necessary optional special condition #1 will allow for further compliance with this finding.
Is consistent with the General Plan, any applicable specific plan, and the certified Local Coastal Program; and	See General Plan analysis and LCP analysis herein.
Complies and is consistent with the City's Design Guidelines.	Due to the proposed project lacking permanent structures or public access, most of the guidelines are not applicable to this project. However, the project will comply with screening requirements necessary for outdoor storage.

SUPPLEMENTAL FINDINGS REQUIRED BY 17.56.070 FOR PROJECTS BETWEEN THE FIRST PUBLIC ROAD AND THE SEA

Finding	Staff Determination
<p>A. Required Overall Findings. Written findings of fact, analysis and conclusions addressing public access must be included in support of all approvals, denials or conditional approvals of projects between the first public road and the sea. Written findings of fact, analysis and conclusions addressing public access must be included in support of all approvals or conditional approvals of where an access dedication is included in the project proposal or required as a condition of approval. Such findings shall address the applicable factors identified by Section 17.56.070(B) of this Development Code and shall reflect the specific level of detail specified, as applicable. Findings supporting all such decisions shall include:</p> <ol style="list-style-type: none"> 1. A statement of the individual and cumulative burdens imposed on public access and recreation opportunities based on applicable factors identified pursuant to Section 17.56.070(B) of this Development Code. The type of affected public access and recreation opportunities shall be clearly described. 2. An analysis based on applicable factors identified in Section 17.56.070(B) of this Development Code of the necessity for requiring public access conditions to find the project 	<p>This finding is made because the project will result in no change to public access, neither individually or cumulatively. The site is located in a heavy industrial area which is not intended for use by the public. It is not safe for the public to walk into an active industrial area.</p>

<p>consistent with the public access provisions of the Coastal Act.</p> <p>3. A description of the legitimate governmental interest furthered by any access condition required.</p> <p>4. An explanation of how imposition of an access dedication requirement alleviates the access burdens identified and is reasonably related to those burdens in both nature and extent.</p>	
<p>B. Required Project-Specific Findings. In determining any requirement for public access, including the type of access and character of use, the City shall evaluate and document in written findings the factors identified in subsections (1) through (5), to the extent applicable. The findings shall explain the basis for the conclusions and decisions of the City and shall be supported by substantial evidence in the record. If an access dedication is required as a condition of approval, the findings shall explain how the dedication will alleviate or mitigate the adverse effects which have been identified and is reasonably related to those adverse effects in both nature and extent. As used in this section, “cumulative effect” means the effect of the individual project in combination with the effects of past projects, other current projects, and probable future projects, including development allowed under applicable planning and zoning requirements or regulations.</p>	
<p>a. Identification of existing and open public access and coastal recreation areas and facilities in the regional and local vicinity of the development;</p>	<p>There are multiple existing open public access and coastal recreation areas existing in reasonable proximity to the site. MacKerricher State Park is located west of the project site including multiple trails to access said park. There are multiple public access locations to the north and south of the site (Pudding Creek Trestle, 1121 N Main Street, Adjacent to Postmile 63.691) at a reasonable distance for coastal enjoyment. Therefore this finding is made.</p>
<p>b. Analysis of the project’s effects upon existing public access and recreation opportunities;</p>	<p>This finding is made because the project will have no impact on existing public access as it will not modify or remove any existing public access locations or recreational opportunities.</p>
<p>c. Analysis of the project’s cumulative effects upon the use and capacity of the identified access and recreation opportunities, including public tidelands and beach resources, and upon the</p>	<p>The project will have minimal to no impact, as it does not increase traffic to access and recreational activities. It is a private site for outdoor storage. This finding is made.</p>

capacity of major coastal roads from subdivision, intensification or cumulative buildout;	
d. Projection of the anticipated demand and need for increased coastal access and recreation opportunities for the public;	The City and State Parks have greatly increased public access to the coast over the last 10yrs. The Coastal Trail now runs from Noyo Headlands Park to Ten Mile Beach. As well, many new additional trails have been added over the years. The additional network of trails provides for any potential demand for increased public access the coast. This finding is made.
e. Analysis of the contribution of the project's cumulative effects to any such projected increase;	The project will not contribute to any project increase to coastal access or recreational opportunities. The project is related to outdoor storage and is not open for public use. This finding is made.
f. Description of the physical characteristics of the site and its proximity to the sea, tideland viewing points, upland recreation areas, and trail linkages to tidelands or recreation areas;	The project site is a vacant lot which has been used over the years for various purposes. The site has been heavily impacted by human intervention related to industrial uses. The site is roughly 500ft from the ocean and 1500ft from the nearest tideland viewing point at Virgin Creek/beach. The site is not located near any upland recreation areas or trail linkages. This finding is made.
g. Analysis of the importance and potential of the site, because of its location or other characteristics, for creating, preserving or enhancing public access to tidelands or public recreation opportunities.	This site is located in a heavy industrial area. The Coastal General Plan describes this zoning as incompatible with residential and visitor serving uses, meaning the site is not suitable for creating, preserving, or enhancing public access. As mentioned previously, there are numerous other access points in more suitable locations that do not create hazardous situations for the public and allow continued access to tidelands or public recreational opportunities. This finding is made.
2. Shoreline processes including:	
a. Description of the existing shoreline conditions, including beach profile, accessibility and usability of the beach, history of erosion or accretion, character and sources of sand, wave and sand movement, presence of existing or proposed shoreline protective structures, location of the line of mean high tide during the season when the beach is at its narrowest (generally during the late winter) and the proximity of that line to existing structures, and any other factors which substantially characterize or affect the shoreline processes at the site;	The site is located nearly 500ft from the nearest cliff face. There is no impact to shoreline processes.
b. Identification of anticipated changes to shoreline processes and beach profile unrelated to the proposed development;	There are no anticipated changes to shoreline processes and beach profile unrelated to the proposed development. The existing shoreline is part of MacKerricher State Park and as a result will remain in its natural state.

<p>c. Description and analysis of any reasonably likely changes, attributable to the primary and cumulative effects of the project, to: wave and sand movement affecting beaches in the vicinity of the project; the profile of the beach; the character, extent, accessibility and usability of the beach; and any other factors which characterize or affect beaches in the vicinity;</p>	<p>The project site is located roughly 500ft from the nearest beach. The project will not have any foreseeable impacts to wave and sand movement, profile of the beach, character extent, accessibility and usability of the beach or any other beach related factors.</p>
<p>d. Analysis of the effect of any identified changes of the project -- alone or in combination with other anticipated changes -will have upon the ability of the public to use public tidelands and shoreline recreation areas.</p>	<p>The project is located roughly 500ft from the nearest tideland or shoreline recreation area. There are numerous public access points which provide sufficient access to public tidelands and shoreline recreation areas. The project will not affect the public's ability to use public tidelands and shoreline recreation areas as it does not modify or remove these access points or areas. There is no impact.</p>
<p>3. Historic public use including:</p>	
<p>a. Evidence of use of the site by members of the general public for a continuous five-year period (such use may be seasonal);</p>	<p>The site has been vacant for many years beyond miscellaneous industrial uses. It is fenced off from the public and is private property. The site has not been known to be used by members of the public.</p>
<p>b. Evidence of the type and character of use made by the public (vertical, lateral, blufftop, etc. and for passive and/or active recreational use, etc. Identification of any agency (or person) who has maintained</p>	<p>The site has not had any use by members of the public. Based on the deed, it has been owned and maintained by the Eastman Family Trust.</p>
<p>c. and/or improved the area subject to historic public use and the nature of the maintenance performed and improvements made;</p>	<p>Based on historic aerial photo review of the site, the site has remained vacant for years. It has been blocked off by a fence and natural barriers for years. No historic value of the site has been found for public use. It is in a heavy industrial area where public use has remained incompatible. This finding is made.</p>
<p>d. Identification of the record owner of the area historically used by the public and any attempts by the owner to prohibit public use of the area, including the success or failure of those attempts;</p>	<p>Based on review of records, there has been no historical use of the area by the public and no known attempts by the owner to restrict the public. This finding is made.</p>
<p>e. Description of the potential for adverse impact on public use of the area from the proposed development (including but not limited to, creation of physical or psychological impediments to public use).</p>	<p>The project site will be fenced off, however it will not change or impact public access to use of the area. There are no psychological impediments as a result of this change.</p>
<p>4. Physical obstructions including:</p>	

<p>a. Description of any physical aspects of the development which block or impede the ability of the public to get to or along the tidelands, public recreation areas, or other public coastal resources or to see the shoreline.</p>	<p>There is an existing private residence, chainlink fence on the eastern and western property lines, and tall berry bushes on the eastern property preventing access to the site. However, there are multiple access points near the property which allow public access to tidelands, recreation areas, and public coastal resources. This finding is made.</p>
<p>5. Other adverse impacts on access and recreation including:</p>	
<p>a. Description of the development's physical proximity and relationship to the shoreline and any public recreation area;</p>	<p>The project is located roughly 500ft from the nearest tideland or shoreline recreation area. There are numerous public access points which provide sufficient access to public tidelands and shoreline recreation areas. The project will not affect the public's ability to use public tidelands and shoreline recreation areas as it does not modify or remove these access points or areas. There is no impact.</p>
<p>b. Analysis of the extent to which buildings, walls, signs, streets or other aspects of the development, individually or cumulatively, are likely to diminish the public's use of tidelands or lands committed to public recreation;</p>	<p>The property is in a heavy industrial zoning area and not meant for resident or visitor populations. The impact of the outdoor storage would be minimal and would not affect the public's use of coastal areas.</p>
<p>c. Description of any alteration of the aesthetic, visual or recreational value of public use areas, and of any diminution of the quality or amount of recreational use of public lands which may be attributable to the individual or cumulative effects of the development.</p>	<p>The proposed use is for outdoor storage of porta-potties. This is not the most visually pleasing use, however with the proposed special conditions, visual impact will be minimized due to screening. Individual or cumulative effects will be insignificant.</p>

ENVIRONMENTAL DETERMINATION

The project is exempt from CEQA per California Code of Regulations §15303 (c) Categorical Exemption for “New Construction or Conversion of Small Structures” as the storage of portable toilets will use less than 2500 square feet in floor area, uses minimal to no hazardous materials, all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive.

RECOMMENDED PLANNING COMMISSION ACTION

Staff recommends adoption of the resolution approving Coastal Development Permit (CDP) 11-19, Use Permit (UP) 2-19, and Design Review (DR) 4-22 pursuant to all the evidence presented, both oral and documentary, and further based on the findings and conditions stated therein.

ALTERNATIVE PLANNING COMMISSION ACTIONS

1. Hold a hearing, close the hearing, deliberate without a decision, and revisit the application at the next scheduled meeting for a decision and the addition of any new findings.

2. Hold the hearing, and continue the hearing to a date certain if there is insufficient time to obtain all input from all interested parties. At the date certain, the Commission may then deliberate and make a decision.
3. Deny the Application.

STANDARD CONDITIONS

1. This action shall become final on the 11th day following the decision unless an appeal to the City Council is filed pursuant to CLUDC Chapter 17.92 – Appeals;
2. The use and occupancy of the premises shall be established and maintained in conformance with the requirements of this permit and all applicable provisions of the CLUDC;
3. The application, along with supplemental exhibits and related material, shall be considered elements of this permit, and compliance therewith is mandatory, unless an amendment has been approved by the City;
4. This permit shall be subject to the securing of all necessary permits for the proposed development from City, County, State, and Federal agencies having jurisdiction. All plans submitted with the required permit applications shall be consistent with this approval. All construction shall be consistent with all Building, Fire, and Health code considerations as well as other applicable agency codes;
5. If any person excavating or otherwise disturbing the earth discovers any archaeological site during project construction, the following actions shall be taken: 1) cease and desist from all further excavation and disturbances within 100 feet of the discovery; and 2) notify the Director of Public Works within 24 hours of the discovery. Evidence of an archaeological site may include, but is not necessarily limited to shellfish, bones, flaked and ground stone tools, stone flakes produced during tool production, historic artifacts, and historic features such as trash-filled pits and buried foundations. A professional archaeologist on the list maintained by the Northwest Information Center of the California Historical Resources Information System or Listed by the Register of Professional Archaeologists shall be consulted to determine necessary actions;
6. This permit shall be subject to revocation or modification upon a finding of any one or more of the following:
 - a. That such permit was obtained or extended by fraud.
 - b. That one or more of the conditions upon which such permit was granted have been violated.
 - c. That the use for which the permit was granted is so conducted as to be detrimental to the public health, welfare, or safety or as to be a nuisance.
 - d. A final judgment of a court of competent jurisdiction has declared one or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one or more conditions.
7. Unless a condition of approval or other provision of the Coastal Land Use and Development Code establishes a different time limit, any permit or approval not exercised within 24 months of approval shall expire and become void, except where an extension of time is approved in compliance with CLUDC Subsection 17.76.070(B).

SPECIAL CONDITIONS

1. Special Condition #1: The applicant shall install a screening fence where determined by the reviewing authority consistent with Coastal Land Use & Development Code section 17.30.050 – Fences, Walls, and Screening.
2. Special Condition #2: Should the fence exceed 6 feet in height, the applicant shall apply for a building permit.
3. Special Condition #3: Outside of necessary business operations, the applicants shall park their vehicles at 1251 North Main Street.

OPTIONAL SPECIAL CONDITIONS

1. Optional Special Condition #1: The applicant shall submit a landscape plan for the site in compliance with Chapter 17.34 “Landscaping Standards” of the CLUDC.
2. Optional Special Condition #2: The applicant shall install ten parking spaces in compliance with Chapter 17.36 Parking and Loading on 1241 N Main Street.

ATTACHMENTS

1. Draft Resolution
2. Site Photos
3. Business Plan & Best Practices

NOTIFICATION

1. Applicant
2. Planning Commission
3. California Coastal Commission
4. Property Owners within 300’
5. Residents within 100’
6. Notify Me- Public Hearing Notice

RESOLUTION NO. PC -2022

RESOLUTION OF THE FORT BRAGG PLANNING COMMISSION FOR APPROVAL OF COASTAL DEVELOPMENT PERMIT 11-19 (CDP 11-19), USE PERMIT 2-19 (UP 2-19), DESIGN REVIEW 4-22 (DR 4-22) FOR OUTDOOR STORAGE OF PORTABLE TOILETS

WHEREAS, Thompson's Porta Septic Services ("Applicant") converted a vacant lot into a portable toilet storage lot without City approval; and

WHEREAS, the Project is located at 1241 North Main Street in the Heavy Industrial (IH) zoning district, and;

WHEREAS, Outdoor storage is permitted with a Use Permit within a Heavy Industrial Zone; and

WHEREAS, the Project is subject to the Fort Bragg Coastal General Plan and Coastal Land Use and Development Code (CLUDC); and

WHEREAS, the Planning Commission held a duly noticed public hearing on March 30, 2022, to consider the Project and take public testimony;

WHEREAS, pursuant to California Environmental Quality Act ("CEQA"), 14 California Code of Regulations §15303(c) – New Construction or Conversion of Small Structures the project is categorically exempt; and

NOW THEREFORE BE IT RESOLVED, that based on the entirety of the record before it, which includes without limitation, the CEQA, Public Resources Code §21000, et seq. and the CEQA Guidelines, 14 California Code of Regulations §15303 (c), et seq.; the Fort Bragg Coastal General Plan; the Fort Bragg Coastal Land Use and Development Code; the Project applications; all site plans, and all reports and public testimony submitted as part of the Planning Commission's meeting of March 30, 2022, and Planning Commission deliberations; and any other evidence, the Planning Commission of the City of Fort Bragg hereby finds as follows:

A. General and Use Permit Findings

1. The foregoing recitals are true and correct and made a part of this Resolution;
2. The documents and other material constituting the record for these proceedings are located at the Community Development Department;
3. The proposed project is consistent with the purpose and intent of the zoning district, as well as all other provisions of the General Plan, Coastal Land Use and Development Code (CLUDC) and the Fort Bragg Municipal Code in general;

The proposed project, as conditioned, would be consistent with the relevant policies of the Coastal General Plan and applicable provisions of the Coastal Land Use Development Code (CLUDC) and Fort Bragg Municipal Code in general, per analysis incorporated herein by reference to the project staff report, dated March 30, 2022.

4. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity;
The Heavy Industrial zoning district is appropriate for a range heavy industrial including manufacturing, assembly and processing, the storage and distribution of raw materials, aggregate plants, and related industrial uses that are generally compatible with and require

locations removed from residential and visitor serving uses. The use would be compatible with the existing industrial that substantially surrounds the site.

5. The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities (e.g., fire protection, police protection, potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.), to ensure that the type, density, and intensity of use being proposed would not endanger, jeopardize, or otherwise constitute a hazard to the public interest, health, safety, convenience, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zoning district in which the property is located;

The project site is a 0.70 acre, square parcel that can demonstrably accommodate the design characteristics and operations of the proposed outdoor storage. The project was evaluated by the Planning and Public Works Department, and, as conditioned, found to be physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle access and public services and utilities.

As such, the project would not endanger, jeopardize, or otherwise constitute a hazard to the public interest, health, safety, convenience, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zoning district in which the property is located.

6. For the purposes of the California Environmental Quality Act (CEQA), this project was found to be exempt under Section 15303(c) – New Construction or Conversion of Small Structures.

B. Coastal Development Permit Findings

1. The proposed development as described in the application and accompanying materials, as modified by any conditions of approval, is in conformity with the City of Fort Bragg’s certified Local Coastal Program and will not adversely affect coastal resources;

As conditioned, the project conforms with the City of Fort Bragg’s certified Local Coastal Program and will not adversely affect coastal resources per analysis incorporated herein by reference to the project staff report, dated March 30, 2022.

2. If the project is located between the first public road and the sea, that the project is in conformity with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Sections 30200 of the Public Resources Code);

As conditioned, the project meets this finding per analysis incorporated herein by reference to the project staff report, dated March 30, 2022

3. Feasible mitigation measures and/or alternatives have been incorporated to substantially lessen any significant adverse effects of the development on the environment;

The proposed project will have minimal impacts on the environment, so no mitigation measures have been proposed. There is no construction or grading involved for this project. As well, on July 5, 2019 a botanical analysis was conducted for the site to determine if the project would have a significant adverse environmental impact to special status species. The result of the study found no California Native Plant Society (CNPS) 1A, 1B, 2A, or 2B species on site. Based on the fact that the botanical study did not find any special status plant species and the applicants are not proposing removal of any vegetation, therefore complying with this finding.

4. The proposed use is consistent with the purposes of the zone in which the site is located;
The Heavy Industrial zoning district is appropriate for a range heavy industrial including manufacturing, assembly and processing, the storage and distribution of raw materials, aggregate plants, and related industrial uses that are generally compatible with and require locations removed from residential and visitor serving uses. As this is the storage of materials, the proposed project complies with one of the listed purposes of the Heavy Industrial Zoning District.
5. The proposed development is in conformance with the City of Fort Bragg's Coastal General Plan;
As conditioned, the project conforms with the City of Fort Bragg's Coastal General Plan per analysis incorporated herein by reference to the project staff report, dated March 30, 2022.
6. The proposed location of the use and conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity; and
The project site is a 0.70 acre, square parcel that can demonstrably accommodate the design characteristics and operations of the proposed outdoor storage. The project was evaluated by the Planning and Public Works Department, and, as conditioned, found to be physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle access and public services and utilities.
As such, the project would not endanger, jeopardize, or otherwise constitute a hazard to the public interest, health, safety, convenience, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zoning district in which the property is located.
7. Services, including but not limited to, water supply, sewage disposal, solid waste, and public roadway capacity have been considered and are adequate to serve the proposed development.
The proposed project was reviewed by the City of Fort Bragg Public Works and Planning Department. These departments reviewed the project for access to water, sewage disposal, solid waste, electricity, and public roadway capacity. The use proposed is minimal in scope and all services have been deemed available and capable of handling the new project.

Design Review

1. Complies with the purpose and requirements of this Section.
The project scope is minimal in nature and as conditioned, will be in conformance with the purpose and requirements of Design Review.
2. Provides architectural design, building massing, and scale appropriate to and compatible with the site surroundings and the community.
The project does not involve the creation of permanent structures. However, the proposed use is minimal and will be smaller in scale compared to many of the uses in the area. The area is intended for industrial type uses, and as this use is industrial, will be compatible with the site surroundings and community.
3. Provides attractive and desirable site layout and design, including building arrangement, exterior appearance and setbacks, drainage, fences and walls, grading, landscaping, lighting,

signs, etc.

The project will be properly screened from any public viewing points using a durable and high quality material based on Special Condition #1. The project will comply with the setbacks. The project does not propose any grading, landscaping, lighting, or signs. As conditioned, the project will comply with this finding.

4. Provides efficient and safe public access, circulation, and parking.

The project does not involve the creation of any new parking and is not intended for public access. The applicants will utilize existing parking spaces on an adjacent site. However, if necessary, optional special condition #2 would allow for further compliance with this finding.

5. Provides appropriate open space and landscaping, including the use of water efficient landscaping;

No changes to the existing open space and landscaping are proposed. However, if necessary optional special condition one will allow for further compliance with this finding.

6. Is consistent with the Coastal General Plan, any applicable specific plan, and the certified Local Coastal Program if located in the Coastal Zone.

As conditioned, the project meets this finding per analysis incorporated herein by reference to the project staff report, dated May 30, 2022.

7. Complies and is consistent with the City's Design Guidelines.

Due to the proposed project lacking permanent structures or public access, most of the guidelines are not applicable to this project. However, the project will comply with screening requirements necessary for outdoor storage.

Use Permit

1. The proposed use is consistent with the General Plan, any applicable specific plan, and the Local Coastal Program;

As conditioned, the project meets this finding per analysis incorporated herein by reference to the project staff report, dated March 30, 2022.

2. The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this Development Code and the Municipal Code;

The proposed use is allowed within the applicable Heavy Industrial (IH) zoning district with a Use Permit and the project meets this finding per analysis incorporated herein by reference to the project staff report, dated March 30, 2022.

3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity;

The Heavy Industrial zoning district is appropriate for a range heavy industrial including manufacturing, assembly and processing, the storage and distribution of raw materials, aggregate plants, and related industrial uses that are generally compatible with and require locations removed from residential and visitor serving uses. The use would be compatible with the existing industrial which substantially surrounds the site.

4. The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities (e.g., fire protection, police protection, potable water,

schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.), to ensure that the type, density, and intensity of use being proposed would not endanger, jeopardize, or otherwise constitute a hazard to the public interest, health, safety, convenience, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zoning district in which the property is located; and

The project site is a 0.70 acre, square parcel that can demonstrably accommodate the design characteristics and operations of the proposed outdoor storage. The project was evaluated by the Planning and Public Works Department, and, as conditioned, found to be physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle access and public services and utilities.

As such, the project would not endanger, jeopardize, or otherwise constitute a hazard to the public interest, health, safety, convenience, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zoning district in which the property is located.

5. Pursuant to CLUDC Section 17.22.030(C)(2), the use acts to support primary uses in the zone, or clients or visitors of allowable permitted uses.

This finding is not applicable to the project as it is not located in a Commercial Zone.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Fort Bragg does hereby make the findings contained in this Resolution and approves Coastal Development Permit 11-19 (CDP 11-19), Design Review 4-22 (DR 4-22) and Use Permit 2-19 (UP 2-19) for the Project subject to the following conditions of approval:

Standard Conditions

1. This action shall become final on the 11th day following the decision unless an appeal to the City Council is filed pursuant to CLUDC Chapter 17.92 – Appeals;
2. The use and occupancy of the premises shall be established and maintained in conformance with the requirements of this permit and all applicable provisions of the CLUDC;
3. The application, along with supplemental exhibits and related material, shall be considered elements of this permit, and compliance therewith is mandatory, unless an amendment has been approved by the City;
4. This permit shall be subject to the securing of all necessary permits for the proposed development from City, County, State, and Federal agencies having jurisdiction. All plans submitted with the required permit applications shall be consistent with this approval. All construction shall be consistent with all Building, Fire, and Health code considerations as well as other applicable agency codes;
5. If any person excavating or otherwise disturbing the earth discovers any archaeological site during project construction, the following actions shall be taken: 1) cease and desist from all further excavation and disturbances within 100 feet of the discovery; and 2) notify the Director of Public Works within 24 hours of the discovery. Evidence of an archaeological site may include, but is not necessarily limited to shellfish, bones, flaked and ground stone tools, stone flakes produced during tool production, historic artifacts, and historic features such as

trash-filled pits and buried foundations. A professional archaeologist on the list maintained by the Northwest Information Center of the California Historical Resources Information System or Listed by the Register of Professional Archaeologists shall be consulted to determine necessary actions;

6. This permit shall be subject to revocation or modification upon a finding of any one or more of the following:
 - a. That such permit was obtained or extended by fraud.
 - b. That one or more of the conditions upon which such permit was granted have been violated.
 - c. That the use for which the permit was granted is so conducted as to be detrimental to the public health, welfare, or safety or as to be a nuisance.
 - d. A final judgment of a court of competent jurisdiction has declared one or more conditions to be void or ineffective, or has enjoined or otherwise prohibited the enforcement or operation of one or more conditions.
7. Unless a condition of approval or other provision of the Coastal Land Use and Development Code establishes a different time limit, any permit or approval not exercised within 24 months of approval shall expire and become void, except where an extension of time is approved in compliance with CLUDC Subsection 17.76.070(B).

Special Conditions

1. The applicant shall install a screening fence where determined by the reviewing authority consistent with Coastal Land Use & Development Code section 17.30.050 – Fences, Walls, and Screening.
2. Should the fence exceed 6 feet in height, the applicant shall apply for a building permit.
3. Outside of necessary business operations, the applicants shall park their vehicles at 1251 North Main Street.

BE IT FURTHER RESOLVED that this Resolution shall become effective immediately upon its passage and adoption.

The above and foregoing Resolution was introduced by _____, seconded by _____, and passed and adopted at a regular meeting of the Planning Commission of the City of Fort Bragg held on the 30th day of March 2022, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Jeremy Logan, Chair

ATTEST:

Sarah Peters, Administrative Assistant

Thompson's Site Photos



Typical Porta Potty



Containment tray for truck to truck waste transfers



View of site from the Office



Outdoor Storage set up



Eastern
Property
line



Southern
property
line and
material
pile from
Geo Agg



Western
property
line
natural
barrier



Northern
property
line

INDUSTRIAL GOOD PRACTICES

Transferring product from 1 truck to another

At the end of each shift, pumper trucks should be unloaded into the bobtail septic truck. In order to do this properly, there are a few steps that must be taken. The steps with explanations are listed below:

1. Park the pumper the truck next to the septic truck, with pumper truck hose connections closest to the septic truck.
2. Containment trays that are found under the septic truck must be pulled out and placed under each connection. There should be a containment tray under the hook-up to the septic truck and a second container placed under the smaller pumper truck's connection. These containment trays are placed under each connection to catch any potential drippings from the trucks.
3. Remove dust caps from the septic truck and the pumper truck and the hose used for vacuum. Connect the septic truck and pumper truck via 3 inch hosing. Connections are made with cam locks, which are fitted to create a positive connection and thus prevents leakage.
4. Start the ignition of the septic truck. Upon starting the ignition, you will need to start the vacuum pump, or the PTO on the septic truck. This will engage the vacuum necessary to unload the pumper truck.
5. Open the gate valves on the septic truck by pulling the valve at the connection and then open the gate valve on the pumper truck, so that an open suction line is created between the pumper truck and the septic truck.
6. Stand by for the suction to be completed. Sight glass windows can be used to monitor when the pumper truck is approaching empty. As the pumper truck tank becomes empty, the hose will vibrate a little primarily due to the fact that it is empty and no longer has the weight of septage being vacuumed from one tank to another.
7. Close the gate valve at the pumper truck to allow last suction to vacuum out the hose. The vacuum from the septic truck clears the hose via vacuum

to prevent drips. Then close the gate valve at the septic truck. Turn off the vacuum pump (PTO) and turn the ignition off on the septic truck.

8. Once everything has been turned off, you can disconnect the hose from the end of the pumper truck and the end of the septic truck. Dust caps should be replaced on the pumper truck at the connection site, the septic truck at the connection site and on each end of the hose that was used. Replace the hose where it was located and place both containment trays back where they belong.

It is worth mentioning that trucks are unloaded via a vacuum system, not a pressurized system. In a pressurized system, if a leak occurred the spillage would be literally pressured to exit through the leak. In a vacuum system, if a leak occurred the system would continually suck air into the tank, through the leak.

Loading, Delivering and Picking Up Portable Toilets

Portable toilets can sometimes sit for months onsite before they are loaded and sent out for delivery. If you are getting ready to load a portable toilet for delivery and it looks to be dusty from sitting at the yard, you may take the pressure washer that is stored onsite and give it a quick rinse. We ask that you do not use the hose without the pressure washer, in an effort to use less water from the well.

Once you have identified the portable toilet you are to load, pull the truck up next to the unit(s), drop the lift gate from its sitting position and then lower the lift gate to the ground. Then gently push the portable toilet onto the lift gate and raise the gate to bed level. Once the unit is level with the bed of the truck, push the unit back as far as it can go and strap it in using the provided straps and the hooks on the truck bed to secure the load. Lower the lift gate and place the gate back into its original state. Before leaving be sure that you have the supplies necessary to stock the units you have loaded ie: soaps, paper towels and toilet paper

When you have reached the address of the delivery destination and have secured the site that the portable toilets are to be unloaded at, you will need to drop the lift gate from its original resting place and raise the gate to bed level. Slide the portable toilet onto the liftgate, lower the gate to the ground and gently slide the portable toilet to its intended location.

Next you will need to clean the interior of the unit and stock it. To do this, you will need the disinfectant spray, a cleaning rag, and materials to stock the portable toilet as well as any personal protective equipment (see PPE in Employee Handbook). Spray the interior of the unit, including the walls, the exterior of the holding tank, the seat, the door, sink, urinal, paper-towel dispenser, and soap-dispenser (if the unit has such amenities). Next, stock the toilet paper, paper towels and soap. Finally, using your on-board water, fill about 1 to 2 gallons of water in the holding tank of each portable toilet being delivered. Place 1 perfume packet in the holding tank. Roll up your water hose, put away you cleaning supplies and any PPEs, and return the lift gate to its original state.

Servicing units is very similar to delivering units, with the exception that you will be pumping the holding tank. Each unit's holding tank is pumped with the pumper truck. You will unfold the hose, turn on the vacuum pump (PTO) and vacuum the contents of the each holding tank. After the contents are removed, turn off the PTO and replace the hose back on the truck. Then you will do all the before mentioned steps ie: wipe down the interior of the unit,

place 1 to 2 gallons of water in the tank and put a perfume packet in the holding tank. Restock paper and/or soap as necessary. Pick up all your equipment and move to the next site.

When you pick up the units, you treat it just as you would a service. Pump the contents of the holding tank, but DO NOT fill any water or put in a perfume packet. After you pump the unit(s), sanitize and wipe down the entire interior of the unit. The unit is ready to be loaded back onto the truck when it has been emptied of septage, and has been sanitized and cleaned out. Upon these steps being completed, the unit may be loaded back onto the truck. The lift gate will need to be dropped down to the ground level, unit slid onto the lift gate, raise the lift gate, and slid the unit back onto the truck. Secure the unit by strapping it down, just as was down for delivery.

Once the portable toilet is brought back to the yard, it is removed from the truck's bed and slid onto the ground via the lift gate, and placed in the row of which is originally came from. All "like" units are lined up together.

Septage Disposal

Septage is always stored within the trucks, and not in containers on the property. The pumper trucks are to be unload into the Kenworth and/or Peterbilt full size septic trucks nightly, so that the Peterbilt can run the septage to unload at the approved dump sites that Thompson's contracts with. For full description/instructions on transferring product from truck to truck, please see Transferring From 1 Truck to Another.

There are currently four dump sites available for Thompsons Porta Septic Service, Inc to dispose of waste material. They are as follows:

Tunzi Inc, Comptche, CA

City of Willits, Willits, CA

Hay Ranch, Point Arena, CA

City of Fort Bragg, Fort Bragg, CA

Each facility has their own regulations and Site Operations that Thompsons will strictly adhere to. Basic procedures are as follows:

Tunzi Inc. - unload at the pond the is designated for the season, leave a printed ticket (provided by the Tunzi Ranch) in the box on the way out. The ticket should state the date of the dump, driver's name, and number of gallons released. Copy of that ticket goes to the office for billing.

City of Willits – unload at the facility, take the printed ticket from the machine and give it to the office to match with the City's billing.

Hay Ranch – unload at the pond, leave a printed ticket (provided by the Hay Ranch) in the box on the way out. The ticket should state the date of the dump, driver's name, and number of gallons released. Copy of the ticket goes to the office for billing.

City of Fort Bragg – unload at the facility, take the printed ticket from the machine and give it to the office to match with the City's billing.

All dumping receipts will be maintained in the office, as well as all records of payment. For more specific instructions and/or regulations for each site, see the office.

SECONDARY CONTAINMENT

All hazardous waste shall be contained within secondary containments. Thompsons Porta Septic Service, Inc. does not store or use hazardous materials. For a list of products that are used on a day-to-day basis, see Discharge Response Plan.

STORMWATER CONTAINMENT

Please see following pages for the all necessary BMP sheets for SC-10, SC-11, SC-20, SC-21, SC-22, SC-30, SC-31, SC-32, SC-33, SC-34, SC-35, SC-40, SC-41, SC-42, SC-43 and SC-44.

SOLID WASTE DISPOSAL PLAN

Thompsons Porta Septic Service, Inc. disposes septage at the approved of sites, see Septage Disposal for a list of those sites. Transportation from Thompsons Porta Septic Service, Inc to the approved dump facilities is done by the septic truck. Pumper trucks transfer to the septic truck nightly and septage is then delivered to appropriate dump facilities. For full description/instructions on transferring product from truck to truck, please see section titled Transferring From 1 Truck to Another.

No liquid of any kind shall be discharged into a public or private body of water, storm drain system sewage system, watercourse, or into the ground, except in compliance with applicable regulations of the Regional Water Quality Control Board.

DISCHARGE RESPONSE PLAN

Should a septage release occur, the first course of action is to have the pumper truck vacuum up any contents on the grounds. If the spill is in need of containment, there are absorbent socks on the premises, that can be utilized. These are absorbent socks that measure about 3 inch wide by 10 ft long sock. Each sock absorbs 1.86 gallons of fluid and 5 socks are located on site. Because the pumper trucks are a vacuum truck, leaking is highly unlikely, as leaks in a vacuum truck will only cause more air to be sucked into the lines, rather than leaking out of the lines. However, we understand the importance for being prepared for an unintentional release, so as to not harm our surroundings. Drip pans are placed under each connection of the trucks to prevent any drip from hitting the ground. These drip pans are also used at each connection when transferring occurs. Please see the section titled Transferring From 1 Truck to Another for a description of drip pan use.

Storage on the property consists of portable toilets, trucks that deliver and service the portable toilets and the septic trucks and lastly products that are necessary for day-to-day operations of the company. Each is briefly explained below.

Portable Toilets - The property is used for storage of portable toilets. Portable toilets are stored onsite as dry and empty units. They are NEVER stored onsite with septage inside. They are always stored as empty plastic portable toilets. Please refer to the Loading, Delivering and Pick Up section for more information

Sewage is always contained within the trucks on the property and it is not to be stored anywhere else on the property. There is not a secondary storage or holding tank on the premises to hold septage. Please see Industrial Good Practices for the transferring of septage from one truck to another. Septage is kept in trucks or is disposed of at approved facilities. Please see Septage Disposal for approved sites.

Trucks – There are two different types of trucks that the company uses in the daily operations. There is a pumper truck that delivers and services portable toilets and there is septic trucks. The pumper trucks are smaller in capacity and at the end of the day will empty into the septic trucks, which will then dispose of the waste at the approved facilities. For a description on how truck to truck transfer is completed, please refer to the section titled Industrial Good Practices. For a list of approved dump sites, please refer to the section titled Septage Disposal.

Day-to-Day Used Products - All liquids and dry goods shall be stored in dry containers. Below is a list of the items that are needed to operate Thompsons Porta Septic Service, Inc and are items that are stored in the land/sea containers onsite.

Items are as follows:

Walex Porta-Pak Holding Tank Deodorizer – These are placed in portable toilets once they are delivered to reduce odor in the holding tank between cleanings.

Soft Soap – These are used for the hand washing stations and restroom trailers.

Sanitizer – This is used for the drivers to keep themselves clean and for hand sanitizing station on rent.

Anti-bacterial Fragrance Spray – This is used to clean the inside of portable toilets once they are delivered. It is sprayed on the inside of the restroom and then the inside walls are wiped clean.

Motor Oil – This used for the trucks.

DEF (Diesel Exhaust Fluid) – This is used for the trucks.

Toilet Paper – These are used in all portable toilets.

Paper Towels – These are used in all hand wash stations and restroom trailers.

SDS Sheets are available for the appropriate products listed.

DISCHARGE REPORTING

In the event that a spill is not able to be contained and is reaching critical water ways or sensitive vegetation, all local authorities are to be notified. These agencies are the City of Fort Bragg and Mendocino County Environmental Health. These agencies must be notified within the business day of the release or if the release occurs after hours, they must be notified the next business day before the end of business hours. Emergency situations may also include calling 911 for emergency response.



Thompson's Porta Septic

Coastal Development Permit 11-19, Use Permit 2-19, and Design Review 4-22

March 30, 2022

Project History & Background

- ▶ Based on a 2017 code enforcement violation
- ▶ Applicant submitted entitlements in 2019
- ▶ Reviewed with new application information in 2021

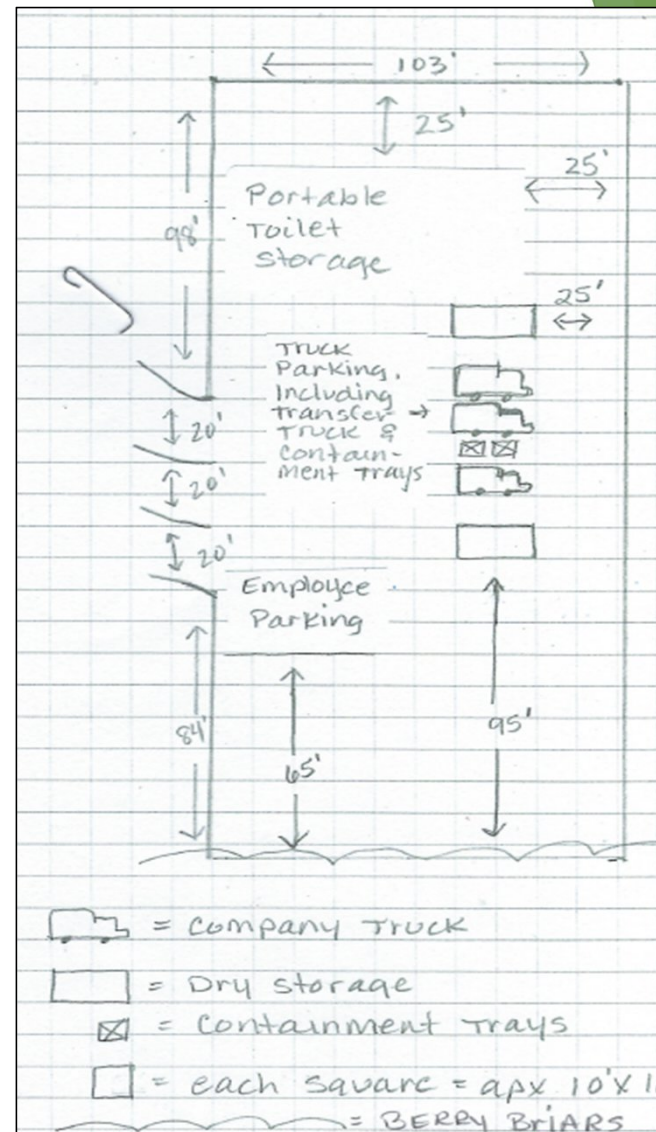
Project Location



Heavy Industrial
Zoning

Project Description

- ▶ Outdoor storage of portable toilets
- ▶ Dry storage of materials
- ▶ Truck to truck waste transfer
- ▶ Parking of staff vehicles
- ▶ Existing office at 1251 N Main Street



Site Photos - From 1251 N Main



Site Photos - View of outdoor storage



View Looking East



View from Eastern Property Line



Special Conditions

- ▶ Special Condition #1: The applicant shall install a screening fence where determined by the reviewing authority consistent with Coastal Land Use & Development Code section 17.30.050 - Fences, Walls, and Screening.
- ▶ Special Condition #2: Should the fence exceed 6 feet in height, the applicant shall apply for a building permit.
- ▶ Special Condition #3: Outside of necessary business operations, the applicants shall park their vehicles at 1251 North Main Street.



Optional Conditions

- ▶ Optional Special Condition #1: The applicant shall submit a landscape plan for the site in compliance with Chapter 17.34 “Landscaping Standards” of the CLUDC.
- ▶ Optional Special Condition #2: The applicant shall install ten parking spaces in compliance with Chapter 17.36 Parking and Loading on 1241 N Main Street.

Actions

- ▶ Hold a hearing, close the hearing, deliberate without a decision, and revisit the application at the next scheduled meeting for a decision and the addition of any new findings.
- ▶ Hold the hearing, and continue the hearing to a date certain if there is insufficient time to obtain all input from all interested parties. At the date certain, the Commission may then deliberate and make a decision.
- ▶ Deny the Application.

- ▶ Staff recommends adoption of the resolution approving Coastal Development Permit (CDP) 11-19, Use Permit (UP) 2-19, and Design Review (DR) 4-22 pursuant to all the evidence presented, both oral and documentary, and further based on the findings and conditions stated therein.

Questions?



CITY OF FORT BRAGG

Incorporated August 5, 1889

416 N. Franklin Street, Fort Bragg, CA 95437
Phone: (707) 961-2827 Fax: (707) 961-2802
www.City.FortBragg.com

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Fort Bragg Planning Commission will conduct a public hearing at a special meeting on **Wednesday, March 30, 2022 at 6:00 PM** or as soon thereafter as the matter may be heard, at Town Hall, 363 North Main Street, Fort Bragg, California. The public hearing will be live-streamed on the City's website at city.fortbragg.com and on Channel 3. The public hearing will concern the following item:

APPLICANT: Thompsons' Porta Septic Services Inc.

APPLICATION NO: Coastal Development Permit (CDP) 11-19, Use Permit (UP) 2-19, Design Review 4-22

PROJECT: Outdoor storage of porta-potties and supplies. Truck to truck waste transfer.

APN: 069-232-12-00

LOCATION: 1241 North Main Street

The hearing will be opened for public participation. All interested persons are invited to appear at that time to present their comments. The public comment period runs from the date this notice is published until the date of the hearing to allow sufficient time for submission of comments by mail. Public Comments regarding this Public Hearing may be made in any of the following ways: (1) Emailed to the Community Development Department, at CDD@fortbragg.com; (2) Written comments delivered to City Hall, 416 N. Franklin Street; (3) Verbal comments made during the meeting, in person at Town Hall; or (4) Verbal comments made during the meeting, virtually, using the Zoom information provided at the time of agenda publication.

The proposed document that will be considered by Commissioners will be made available for review on the City's website: <https://cityfortbragg.legistar.com/Calendar.aspx> at least 72 hours prior to the Planning Commission meeting. The proposed document is also available for review and/or copying during normal office hours at Fort Bragg City Hall, 416 N. Franklin Street. To obtain application materials or for more information, please contact Kevin Locke, Assistant Planner, via email at klocke@fortbragg.com. At the conclusion of the public hearing, the Planning Commission will consider a decision on the above matter.

Appeal process and fee schedule: Decisions of the Planning Commission shall be final unless appealed to the City Council in writing within ten days thereafter with a filing fee of \$1,000 to be

filed with the City Clerk. If you challenge the above case in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Community Development Department at, or prior to, the public hearing.

DATED: March 17, 2022

Sarah Peters
Sarah Peters, Community Development

PUBLISHED/POSTED: March 17, 2022

STATE OF CALIFORNIA)
) ss.
COUNTY OF MENDOCINO)

I declare, under penalty of perjury, that I am employed by the City of Fort Bragg in the Community Development Department; and that I caused this notice to be posted in the City Hall Notice case on March 17, 2022.

Sarah Peters
Sarah Peters, Community Development

- cc: Planning Commission
- Public Hearing Notify Me
- California Coastal Commission
- Property owners within 300’ radius/ Residents within 100’ radius



CIUDAD DE FORT BRAGG

Incorporada el 5 de agosto 1889

416 N. Franklin Street, Fort Bragg, CA 95437

Teléfono: (707) 961-2827 Fax: (707) 961-2802

www.City.FortBragg.com

AVISO DE AUDIENCIA PÚBLICA

POR LA PRESENTE SE NOTIFICA que la Comisión de Planificación de Fort Bragg llevará a cabo una audiencia pública en una reunión especial el **miércoles 30 de marzo 2022 a las 6:00 p. m.** o tan pronto como se escuche el asunto, en Town Hall, 363 North Main Street, Fort Bragg, California. La audiencia pública se transmitirá en vivo en el sitio web de la Ciudad en city.fortbragg.com y en el Canal 3.

La audiencia pública se referirá al siguiente punto:

SOLICITANTE:	Thompson's Porta Septic Services Inc.
NÚMERO DE SOLICITUD:	Permiso de Desarrollo Costero (CDP) 11-19, Permiso de Uso (UP) 2-19, Revisión de diseño 4-22
PROYECTO:	Almacenamiento de porta-baños y suministros. Traslado de residuos de camión acamión.
APN:	069-232-12-00
UBICACIÓN:	1241 North Main Street

La audiencia estará abierta a la participación pública. Se invita a todas las personas interesadas a presentarse durante la reunión para presentar sus comentarios. El período de comentarios públicos se extiende desde la fecha de publicación de este aviso hasta la fecha de la audiencia para permitir el tiempo suficiente para la presentación de comentarios por correo. Los Comentarios Públicos con respecto a esta Audiencia Pública pueden hacerse de cualquiera de las siguientes maneras: (1) Enviado por correo electrónico al Departamento de Desarrollo Comunitario, a CDD@fortbragg.com; (2) Comentarios por escrito entregados al Ayuntamiento, 416 N. Franklin Street; (3) Comentarios verbales hechos durante la reunión, en persona en el Ayuntamiento; o (4) comentarios verbales realizados durante la reunión, virtualmente, utilizando la información de Zoom proporcionada en el momento de la publicación de la agenda.

El documento propuesto que será considerado por los Comisionados estará disponible para su revisión en el sitio web de la Ciudad en: <https://cityfortbragg.legistar.com/Calendar.aspx> al menos 72 horas antes de la reunión de la Comisión de Planificación. El documento propuesto también está disponible para su revisión y/o copia durante el horario normal de oficina en el Ayuntamiento de Fort Bragg, 416 N. Franklin Street. Para obtener materiales de solicitud o para obtener más información, comuníquese con Kevin Locke, planificador asistente, por correo electrónico a klocke@fortbragg.com. Al concluir la audiencia pública, la Comisión de Planificación considerará una decisión sobre el asunto mencionado anterior.

Proceso de apelación y lista de tarifas: Las decisiones de la Comisión de Planificación serán definitivas a menos que se apealeal Concejo Municipal por escrito dentro de los diez días posteriores con una tarifa de presentación de \$1,000 a pagar presentado ante el Secretaria Municipal. Si impugna el caso anterior en el tribunal, es posible que se limite a plantear solo los problemas que usted u otra persona plantearon en la audiencia pública descrita en este aviso o en la correspondencia escrita entregada al Departamento de Desarrollo Comunitario en la audiencia pública o antes de esta.

Sarah Peters
 Sarah Peters, Community Development

FECHA: 17 de marzo de 2022

PUBLICADO/PUBLICADO: 17 de marzo 2022

ESTADO DE CALIFORNIA)
) ss
 CONDADO DE MENDOCINO)

Declaro, bajo pena de perjurio, que soy empleada de la Ciudad de Fort Bragg en el Departamento de Desarrollo Comunitario; y que hice que este aviso se publicara en el mostrador de Avisos del Ayuntamiento el 17 de marzo de 2022.

Sarah Peters
 Sarah Peters, Community Development

Audiencia pública Notificarme
 Comisión Costera de California
 Propietarios dentro de un radio de 300'/Residentes dentro de un radio de 100'



City of Fort Bragg

416 N Franklin Street
Fort Bragg, CA 95437
Phone: (707) 961-2823
Fax: (707) 961-2802

Text File

File Number: 22-152

Agenda Date: 3/30/2022

Version: 1

Status: Passed

In Control: Planning Commission

File Type: Planning Resolution

Agenda Number: 6B.

Receive Report, Hold a Public Hearing, and Consider Recommendation to City Council to Adopt the Draft 2022 Citywide Design Guidelines



CITY OF FORT BRAGG
COMMUNITY DEVELOPMENT DEPARTMENT
416 N. FRANKLIN, FORT BRAGG, CA 95437
PHONE 707/961-2827 FAX 707/961-2802

AGENDA ITEM SUMMARY REPORT

DATE: MARCH 30, 2022
TO: CITY OF FORT BRAGG PLANNING COMMISSION
FROM: DESIGN GUIDELINES AD-HOC
SUBJECT: REVISIONS TO CITYWIDE DESIGN GUIDELINES UPDATE

BACKGROUND

The City of Fort Bragg's current Design Guidelines were initially adopted by the City Council in 2004. The Guidelines are an integral part of city planning in Fort Bragg and help retain and enhance community character and maintain property values. While effective on many levels, the existing Guidelines have become outdated and do not effectively address current trends and many proposed projects. In 2019, the Planning Commission and City Council considered revisions to the Citywide Design Guidelines as part of a comprehensive community planning process to rezone the former mill site.

This planning effort did not result in a formal adoption of the draft 2019 Guidelines. In 2021 an ad hoc committee was appointed composed of two Councilmembers (Albin-Smith and Morsell-Haye) and two Planning Commissioners (Andreis and Rogers), to complete an update to the City's Design Guidelines. The Design Guideline Ad Hoc Committee met multiple times from February 2021 to February 2022 with the intent to refine and finalize the work completed in 2019, rather than to start "from scratch".

On March 16, 2022, the Planning Commission held a workshop to review the newest draft prepared by the ad hoc team, and suggested the following revisions, which staff incorporated into the final proposed document (Attachment 2 – Draft 2022 Design Guidelines):

- **Page 5:** Added a section discussing the relation of the Guidelines to the Mill Site reuse plan.
- **Page 16:** Revised certain material preferences.
- **Multiple Pages:** Spelling error corrections.

The public also provided input to the proposed draft, which are presented below for Planning Commission consideration:

- **Historic Resources:** The Guidelines point out preserving Fort Bragg’s historic character. How do we help applicant achieve preservation? Should the Guidelines direct applicants to the Office of Historic Preservation? Or Historic Building Code?
- **Cart Corrals:** Stricter guidelines should be in place for grocery cart corrals.
- **Preliminary Design Review:** Should the Guidelines recommend preliminary design review with Planning Commission?
- **Signs:** There should be stricter guidelines related to signs, sign materials, and sign types.

DISCUSSION & NEXT STEPS

At the conclusion of the public hearing, the following next steps could occur:

Action	Timeframe
Planning Commission to City Council	March 30
Public Hearing before City Council	April 25
Document becomes effective 30 days after adoption	

ENVIRONMENTAL DETERMINATION:

The proposed project is categorically exempt from environmental review in conformance with CEQA section 15061(b)(3). The proposed amendments will not allow for, or encourage any more development than is already anticipated under the City’s existing General Plan, or otherwise allow for or promote physical changes in the environment, and therefore, it can be seen with certainty that there is no possibility that the proposed amendments may have a significant impact on the environment.

RECOMMENDED ACTION:

Planning Commission review the draft Design Guidelines and provide a recommendation to City Council for consideration.

ATTACHMENTS:

1. Attachment 1: Resolution of Recommendation
2. Attachment 2: Draft Revised 2022 Design Guidelines
3. Link to Planning Commission Agenda Item 6A. on March 16, 2022
<https://cityfortbragg.legistar.com/LegislationDetail.aspx?ID=5523721&GUID=94E61548-C738-4EBC-B195-2A88F9C45DCD>

RESOLUTION NO. ____-2022

RESOLUTION OF THE FORT BRAGG PLANNING COMMISSION RECOMMENDING APPROVAL OF THE DRAFT CITYWIDE DESIGN GUIDELINES

WHEREAS, the City of Fort Bragg adopted the City of Fort Bragg Design Guidelines in July of 2004;

WHEREAS, Program CD-1.1.1 of the Inland General Plan requires the Citywide Design Guidelines to be periodically updated; and

WHEREAS, there have been numerous attempts to update the Citywide Design Guidelines in 2011, 2013, and 2019; and

WHEREAS, the proposed 2022 Citywide Design Guidelines update is a revision of 2019 draft document; and

WHEREAS, the Citywide Design Guidelines are categorically exempt from a California Environmental Quality Act (CEQA) review in conformance with CEQA section 15061(b)(3). The proposed amendments will not allow for, or encourage any more development than is already anticipated under the City's existing General Plan, or otherwise allow for or promote physical changes in the environment, and therefore, it can be seen with certainty that there is no possibility that the proposed amendments may have a significant impact on the environment; and

WHEREAS, a public hearing was held before the Planning Commission at its meeting on March 16, 2022 at which time interested persons had an opportunity to review the proposed changes; and

WHEREAS, at its meeting of March 30, 2022 the Planning Commission made a recommendation to the City Council to approve the draft 2022 Citywide Design Guidelines.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Fort Bragg does hereby make the following findings with respect to the 2022 Citywide Design Guidelines update:

1. **Section 1.** That the above recitations are true and correct
2. **Section 2.** Findings regarding the 2021 Citywide Design Guidelines Update. The Planning Commission hereby finds the Design Guidelines update complies with all of the following related goals, policies and programs in the General Plan:
 1. *Program CD-1.1.1: Periodically update the Citywide Design Guidelines.*
 2. *Program CD-1.1.2 Commercial and Multifamily Development: Continue to complete Design Review of commercial and multi-family development to ensure that they fit harmoniously with the scale and design of existing buildings and streetscape of the City.*
 3. *Policy S-3.4 Drought Tolerant Landscaping: New development shall include drought tolerant landscaping for landscaped areas in commercial and multi-family residential uses.*
 4. *Goal CD-2 Preserve the central business district as the commercial, civic, historic, and cultural center of the community.*

5. *Goal LU-3 Ensure that the Central Business District remains the historic, civic, cultural, and commercial core of the community.*
6. *Policy CD-2.2 Pedestrian Activity: Encourage increased pedestrian movement and activity in the Central Business District.*
7. *Policy CD-2.5 Strengthen the Distinctive Identity of the Central Business District: Strengthen the distinctive identity and unique sense of place of the Central Business District.*
8. *Policy LU-3.1 Central Business District: Retain and enhance the small-scale, pedestrian-friendly, and historic character of the Central Business District (CBD).*
9. *Policy LU-3.2 Mixed Uses: Support mixed use development (i.e., a combination of residential and commercial uses) in the Central Business District that does not conflict with the primary retail function of this area.*
10. *Policy LU-3.3 Historic Buildings and Mixed Uses: In the Central Business District and in other commercial areas with historic residential structures, encourage residential uses, mixed residential, and commercial uses, and the preservation of historic structures.*
11. *Policy LU-3.4 Encourage Infill Development: Encourage infill development of vacant and underdeveloped land in the Central Business District and adjacent commercial areas before amending the Inland General Plan and rezoning to obtain additional commercial land elsewhere.*
12. *Goal LU-5 Support industrial development which is consistent with the protection, enhancement, and restoration of natural and scenic resources.*
13. *Policy LU-5.1 Siting New Industrial Development: Site new industrial development so that it is contiguous with, or in close proximity to, existing developed areas able to accommodate it, or where such areas are not able to accommodate it, in other areas with adequate public services and where it will not have significant adverse effects on natural and scenic resources, either individually or cumulatively.*
14. *Policy LU-5.2 Industrial Land Use Standards: Require that industrial development avoid or minimize creating substantial pollution, noise, glare, dust, odor, or other significant adverse impacts.*
15. *Program S-3.4.1: Require landscaping for all new commercial and industrial development to use drought tolerant plants and no vegetative turf unless recreation needs or other area functions specifically requires turf.*
16. *Policy CD-3.1 Entryways: Clearly define the points of entry to the City through the use of distinctive signs, lighting, and landscaping.*
17. *Program CD-3.1.1: Maintain distinctive signs placed in a landscaped area at the south entryway at Highway 20/Highway One and at the north entryway on Highway One at the City Limits.*

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Fort Bragg Planning Commission recommends approval of the 2022 Citywide Design Guidelines to the City Council of the City of Fort Bragg.

The above and foregoing Resolution was introduced by _____, seconded by _____, and passed and adopted at a regular meeting of the Planning Commission of the City of Fort Bragg held on the March 30, 2022 by the following vote:

AYES:
NOES:
ABSENT:

**ABSTAIN:
RECUSED:**

Jeremy Logan, Chair

ATTEST:

Sarah Peters, Administrative Assistant



Fort Bragg

Citywide Design Guidelines

April 2022



Acknowledgements

City Council

Bernie Norvell, Mayor
Jessica Morsell-Haye, Vice Mayor
Tess Albin-Smith,
Marcia Rafanan
Lindy Peters

Planning Commission

Jeremy Logan, Chair
Jay Andreis, Vice Chair
Stan Miklose
Michelle Roberts
Nancy Rodgers

Ad-Hoc Team

Jessica Morsell-Haye, Vice Mayor
Tess Albin-Smith, Council Member
Jay Andreis, Vice Chair Planning Commission
Nancy Rodgers, Chair Planning Commission

Project Staff

Sarah McCormick, Assistant City Manager
Kevin Locke, Assistant Planner

Special thanks to former Community Development Director,
Marie Jones for work on 2019 draft, which served as template.

Table of Contents

Acknowledgements.....	1	Lighting.....	18
City Council	1	Site Planning.....	19
Planning Commission.....	1	Landscape.....	20
Ad-Hoc Team.....	1	Fencing and Screening	21
Project Staff	1	Open Space & Pedestrian Circulation	21
Chapter 1: Introduction	4	Site Amenities	22
Purpose & Guiding Principles.....	4	Pedestrian Circulation.....	23
How to Use Design Guidelines.....	5	Circulation and Parking.....	24
Difference between Development Code & Guidelines.....	5	Additions, Remodels, & Renovations.....	25
Relation to Mill Site Reuse	5	Garages & Ancillary Structures	25
Geographic Approach	5	Loading and Delivery.....	25
Central Business District	6	Chapter 3: Specific Land Uses	26
Corridors	6	Central Business District.....	26
Gateways.....	9	Site Planning.....	26
.....	10	Architecture	27
Exceptional Design Exemption.....	11	Architectural Compatibility.....	28
Chapter 2: General Citywide Design Guidelines	12	Storefronts	29
Massing, Elevations & Articulations.....	12	Mixed Use Development.....	30
Architectural Form & Detail.....	13	Site Planning.....	30
Roof Form	14	Architecture	31
Windows, Doors, and Entries.....	15	Site Amenities	31
Materials.....	16	Street Design.....	32
Colors	17	Compatibility with Adjacent Uses.....	33
		Construction between Uses.....	33

Site Planning – New Single Family Subdivisions	34	Awning Signs	46
Site Planning – New Multi Family Developments	34	Window Signs.....	47
Architectural Design.....	35	Monument Signs	47
Open Space & Outdoor Play Areas	35	Pole Signs	48
Auto Repair Services	36		
Service Stations	36		
Drive-Through Businesses	37		
Hotels and Motels	38		
Chapter 4: Industrial	39		
Architectural Form & Detail.....	39		
Accessory Buildings.....	40		
Landscape Design.....	40		
Walls & Fences.....	41		
Outdoor Lighting	41		
Storage & Utility Equipment	41		
Chapter 5: Signs	42		
Overall Sign Guidelines	42		
Sign Legibility	42		
Sign Placement.....	43		
Sign Color	43		
Sign Materials	44		
Wall Signs	44		
Sign Illumination	45		
Projecting Signs.....	46		

Chapter 1: Introduction

The City of Fort Bragg is a special place with a unique identity that its residents cherish. It is framed by natural scenery, including forests, the ocean, and bordered by two rivers. In town, the “built environment” which incorporates the residential and commercial architecture, is both unique in history and character. Many buildings and sites speak to the city’s logging roots and its role as an early commercial center in Mendocino County. The Fort Bragg built environment is described as low-key with Victorian roots. These are aspects that the community values and seeks to retain.

Over time, new construction is bound to alter the character of Fort Bragg, or be respectful of it. The challenge is to accommodate compatible development that builds from the design traditions of the community while promoting design excellence and creative new solutions. This publication sets forth design criteria with a goal to guide new development and property improvements to best meet the needs of the individual property owner while also enhancing the existing character that defines Fort Bragg.

Purpose & Guiding Principles

The City of Fort Bragg’s Citywide Design Guidelines set expectations for site and building design in order to maintain and enhance the small-town, coastal, historic, and rural character of Fort Bragg. Property owners and professionals will use these Guidelines when planning improvements. City staff, committees, and commissions will use them in development review. The Design Review permit process mandates consistency with the Citywide Design Guidelines. These Guidelines will work in conjunction with other City regulations

to ensure development throughout the City is functional and attractive.

Situations may arise that are not covered by the Guidelines, in which case; project designers should consider the following Guiding Principles which reflect ideas from the community, the Design Review Ad-Hoc Committee, Planning Commission, and City Council.

Guiding Principle 1: Community Character

Project design should reflect and strengthen the distinct identity of Fort Bragg – a rural, historic small town on the Mendocino coast.

Guiding Principle 2: Support Connectivity

Project design should incorporate safe, functional and multimodal connections that are easy to navigate by walking, bicycling and public transit. When feasible, new streets should follow existing development pattern.

Guiding Principle 3: Public Enhancements

Project proposals should positively enhance the adjacent public realm by contributing to the collective good of community. This means building places, and not individual sites; making design consideration in the context of streets, sidewalks, public spaces, parks, and trails and looking at how the community interacts with these public spaces.

Guiding Principle 4: Water & Power Sustainability

Do more with less. Development should incorporate water and power efficient design strategies.

How to Use Design Guidelines

The Citywide Design Guidelines consist of five chapters. The document is organized through a hierarchical approach, meaning the guidelines build off each other. The “General Guidelines” in chapter two is the basis for all development. All commercial projects are required to comply with. Beyond the General Guidelines are the “Gateways & Corridors” which set specific standards for certain locations in the City. Finally, the “Guiding Principles” (listed above) are the overarching goals all projects should try to achieve.

Once an application for a project is submitted, the City of Fort Bragg will review the project for consistency with the Design Guidelines. Some guidelines may not apply to all projects due to a variety of reasons, such as land use, architectural design, or site-specific issues. Therefore, projects can generally meet the guidelines and still be consistent. This determination is at the discretion of the Community Development Department or the reviewing body (Planning Commission or City Council).

Difference between Development Code & Guidelines

The Inland & Coastal Land Use & Development Code promotes the public health, safety, and general welfare of the community. The Development Code provides a variety of policies that implement the General Plan as well as base standards for physical development throughout the city. Similar to the Development Code, the Citywide Design Guidelines apply to all projects. However, the Development Code regulations dictate exactly what a property owner can and cannot do with a property, the Design Guidelines focus on how a project is constructed. For example, the City Development Code regulates how many parking spaces are required, while the Guidelines facilitate design objectives such as pedestrian mobility and landscaping.

Relation to Mill Site Reuse

The former Georgia Pacific Mill Site, sited west of Highway One is currently zoned Timber Resources Industrial and provides a unique development opportunity for the City of Fort Bragg and the region. Following closure of the mill, extensive community planning has taken place to determine reuse of the Mill Site, including future development design considerations. These design considerations are imbedded into the citywide approach, and several guidelines specifically reference development west of Main Street.

Geographic Approach

This document considers the location of development within the City, rather than zoning designations to inform design. The City of Fort Bragg is home to a variety of development contexts, each of which contribute to Fort Bragg’s unique character and small town charm. General Commercial Zoning along S. Franklin Street has an intimate, residential quality appropriate for multiuse development and mid-size retail – whereas, General Commercial along S. Main Street is characterized by large parking lots catering to vehicles, ideal for grocery stores and gas stations.

In order to address the intricacies of each context, five geographic areas are identified, each meriting special design consideration, as shown on **Page 10**. The design features of each location serve as cues for new development. Each geographic area is distinguished in numerous ways, whether it be the site design, opportunities for new development, or dominant architectural features.

Central Business District

The Central Business District (CBD) represents the core of Fort Bragg’s historic downtown – the civic, cultural, and commercial center of the community. It is a pedestrian-oriented area accommodating everything from government and professional offices, to retail, restaurants, tourism, and similar types of businesses at a dense scale; residential uses are allowed and encouraged on upper floors or located to the rear of commercial uses. The predominant architectural style reflects Victorian era of the 1860-1930’s. Development is not required to recreate the actual historic architecture, but development should fit within the context of the historic look and contribute to the unique character of downtown. Key objectives for future development and remodels in this area include:

- Maximize transparent storefronts, especially along the ground floor.
- Orient buildings to face the street. Architecture should complement and respect the historic Central Business District vernacular.
- Keep the downtown a lively mixed use, 24hr core.



Example of the downtown streetscape



Example of the downtown streetscape

Corridors

As mentioned previously, most commercial development in the City resides along Franklin Street and CA Route 1, referred to as Main Street. The Central Business District splits these streets to create four unique character areas identified as Main Street North, Main Street South, Franklin Street North, and Franklin Street South. Each character area has specific guidelines only applicable their respective locations.

Main Street North

From the intersection of N Main Street and Pine Street to Pudding Creek lies the Main Street North corridor. Existing development varies in land uses and building types. The predominant type of building looks residential in nature, many serving as Bed & Breakfast Inns. Development generally sits adjacent to streetscape, with driveways and rear parking lots. Future development in the area should consider:

- Main Street North is lined with traditional Victorian and craftsman housing. The existing character of the area should be maintained and vernacular architecture is encouraged.
- Future development should maintain a pedestrian level scale.
- Emphasis on site design by incorporating street trees and other landscaping features that soften the structures and hardscaping/



Example of a North Main Bed & Breakfast

Main Street South

The Main Street South corridor extends from the intersection of S Main Street & Oak Street to the Noyo River. Development in this corridor currently combines a variety of building types and uses including large retail stores, gas stations, motels, and other miscellaneous services. The majority of the existing development is set back from the street, placing surface parking lots between the street and buildings. Existing buildings in this area generally lack the significant architectural character, style and detail found in the Central Business District, and while sidewalks are present throughout the corridor, numerous driveways, large parking lots and five lanes for vehicular travel make this area less pedestrian-friendly. Key objectives for future development and remodels in this area include:

- Locate buildings close to Main Street.
- Emphasis on front yard trees and landscaping.
- Locate parking toward the rear or side of buildings.
- Encourage a cohesive use of land rather than fragmented commercial sites.

Franklin Street North

The Franklin North corridor extends from Pine Street to Manzanita Street along North Franklin Street. Development is primarily industrial, with a few exceptions. Buildings are typically large in area and one-story in height. The majority of sites utilize chain-link fencing and graveled parking areas. Form follows function, maintaining access for large equipment and large warehouses as a priority over pedestrian-oriented and designed development. Key objectives for future development and remodels in this area include:

- Provide a generous landscape buffer between the building and public realm.
- When a fence is used, ensure it allows visual permeability, except when screening outdoor storage.
- Articulate large industrial buildings to break down the overall scale.
- Site or building entries should be visible from the public right-of-way.

Franklin Street South

From the intersection of Oak and Franklin Street to North Harbor Drive lies the Franklin South Corridor. This corridor on the eastern side of the street is mainly an eclectic mix of single-family residences in a variety of building forms, setbacks, and landscape character. While the western portion is mainly made up of hotels and commercial development. Due to this mix of development, there is no significant architectural style and detail present throughout the corridor. Sidewalks and class II bikeways are present on both sides and speed limits are a maximum of 30MPH making it one of the more pedestrian friendly streets in town.

With some relatively large opportunity sites in this area, new development is likely to have a transformative impact. As new development occurs, new sites and buildings should be designed with the objectives listed below in mind.

- Ensure a comfortable pedestrian environment through design approaches for a front setback area.
- Limit parking to the rear or alley of primary structures.
- Create a visual and physical connection between a buildings entry and the public realm.
- Emphasis on front yard trees and landscaping.
- Mixed-use development is heavily encouraged.

Gateways

Considered the “edge of town” entry points from the surrounding countryside. Gateways are conceptually simple, ensuring the transition from the outside of town and the urban character of the streetscapes within the town be appropriate in their “small town character.”

The City of Fort Bragg has two defined gateways, north of the Pudding Creek Bridge and South of the Noyo Harbor Bridge. Development in these locations should follow the following guidelines in addition to the General Guidelines.

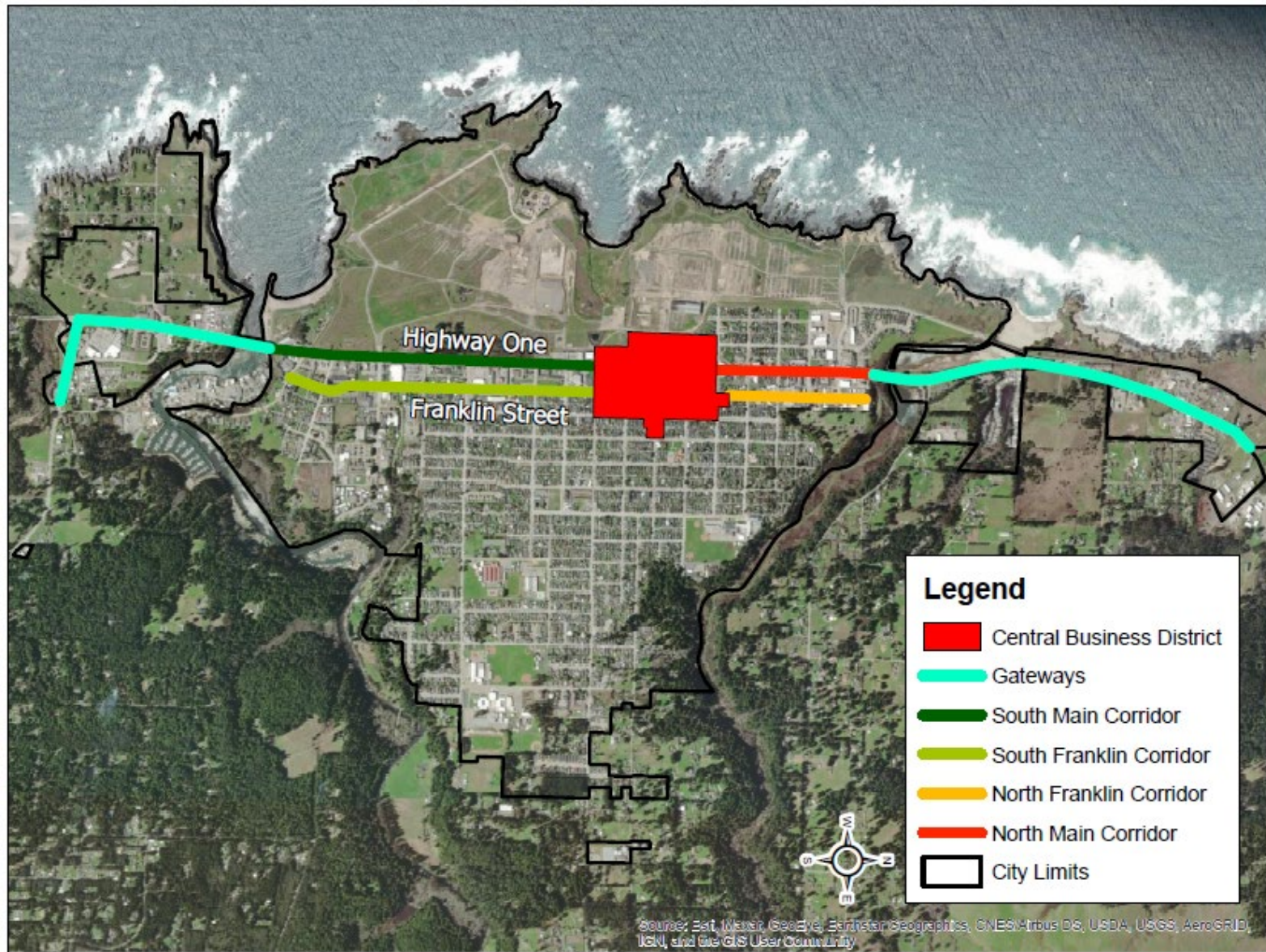
- Development should not detract from views to the ocean.
- Signage should be modest in scale and should not block the view shed.
- Significant landscaping shall be installed to reinforce the transition from a wilderness environment to an urban environment in gateway development. Landscaping should include trees and drought tolerant plants. Lawns are discouraged.
- Site design should include open space around the periphery of the gateway development to reinforce the transitional quality of the area.
- Site design should include installation of bike lanes and sidewalks.
- Gateway development should model Green Building techniques and materials.

General Plan Reference

Goal CD-3, Policy CD-3.1, 3.2



City of Fort Bragg Gateways & Corridors

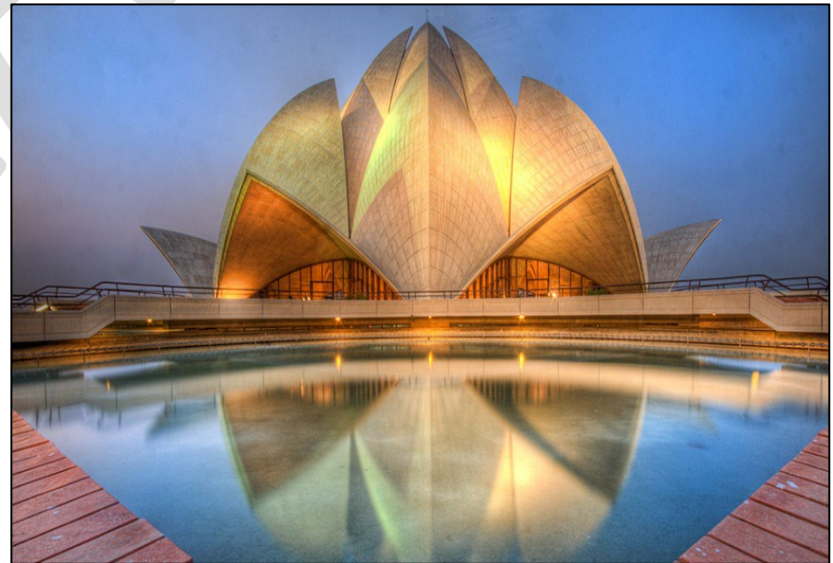


Exceptional Design Exemption

The City recognizes the importance of innovative, exceptional and truly place making design, which may fall outside of the design criteria herein. Therefore, in addition to waivers and concessions made under applicable State laws, a project applicant may request exceptions, in writing, as part of the planning permit application for the proposed project. The request for an exemption must contain detailed information as to how the building design is going to create a unique space that is innovative or exceptional and a list of the design criteria which the applicant is unable to comply with in order to achieve this.

The decision-maker (Planning Commission or City Council) will consider the request and information provided and make findings to approve or deny the request. All of the following findings shall be made prior to approving an exemption.

- Approving the exemption will not create a safety hazard or impair the integrity and character of the neighborhood in which the property is located.
- Buildings and projects shall facilitate fundamentally new materials, methods, and tectonic articulations and/or forms of construction.
- The proposed project meets the purpose and guiding principles of the Design Guidelines.



Chapter 2: General Citywide Design Guidelines

Massing, Elevations & Articulations

Mandatory Standards

1. Structures shall be well-articulated on all sides visible from public streets and views. The highest level of articulation occurs on the front façade, and on all elevations visible from the public right of way. This includes variation in massing, roof forms, and wall planes, as well as surface articulation. Avoid boxy and monotonous facades that lack human scale dimensions and have large expanses of flat blank wall planes visible to the public.
2. All development adjacent to the Coastal Trail (Noyo Headlands Park) shall step back the structures on the upper floor from the side of the building that is adjacent to the Coastal Trail. Roof decks and balconies that overlook the coastal trail should be unobtrusive.
3. The scale of buildings shall relate to the surrounding development patterns. Buildings with greater height than surrounding buildings should step back the structure on the upper floors from street and public spaces to lessen the appearance of mass and bulk.
4. Architectural details and materials shall be incorporated on the lower part of the building facade to relate to human scale. These pedestrian scale elements can include awnings, trellises, windows, building base articulation, and changes in materials, textures, and colors.

[General Plan Reference](#)
Goal CD-1, Goal S-1

Preferred Standards

1. Architectural elements that add visual interest, scale, and character such as projecting balconies, trellises, recessed windows, window and door detailing, or green garden walls should be incorporated to help articulate facades and blank walls.
2. Break up large building forms by vertical and horizontal variations in wall and roof planes, building projections, projecting ribs, reveals, door and window bays and similar design elements. To divide the building mass into smaller scale components, building faces over 50 feet long should reduce the perceived mass and bulk by one or more of the following: change of roof or wall plane; projecting or recessed elements, such as trellises, balconies, openings, etc.; varying cornice or rooflines; or other similar means.
3. All building and site design should use passive solar design strategies for space heating and lighting to reduce energy demand to the extent feasible.



Structures shall be well-articulated on all sides visible from public streets.

Architectural Form & Detail

Mandatory Standards

1. Franchise architecture is strongly discouraged. Buildings shall be readily reusable by other tenants and should not be identified with a design that is specific to a franchise.
2. Commercial development shall compliment and/or Incorporate design elements and features from the historic architectural styles of the Central Business District, such as bay windows, porches, projecting eaves, awnings, and similar elements that add visual interest to the development

Preferred Standards

1. Commercial development should include a higher level of architectural detailing and higher quality materials at the pedestrian level of the building.
2. Architectural style should be compatible with the surrounding character, including building style, form, size, materials, and roofline.
3. The use of awnings, canopies, recesses, and arcades is strongly encouraged to provide protection for pedestrians and to add interest and color to buildings. Awning placement should fit within the scale, proportion, and rhythm created by the distinct architectural elements and should not cover piers, pilasters and other architectural details. Awnings should be compatible in color and design with the buildings. Awning frames and supports should be painted or coated metal or other non-corroding material and designed to withstand wind loads.

General Plan Reference

Policy LU-4.1



Commercial development shall incorporate design elements from the historic Central Business District.



Use of recesses are strongly encouraged to provide protection for pedestrians. (Union Lumber Company Store Early 1900s)

Roof Form

Mandatory Standards

1. Roof forms shall be used to distinguish various building forms, create an interesting roof line, and help break up the building massing.
2. Buildings shall incorporate passive solar design and include at least one roof plane that is large enough to accommodate photovoltaic (PV) panels to meet the majority (>50%) of the building's energy needs, when feasible.
3. All roof-mounted equipment shall be effectively and attractively screened through the use of various architectural detailing including, but not limited to, roof form, decorative parapets or cornices that match the architectural character and materials of the building.
4. Highly reflective materials shall be avoided.
5. Balconies, roof gardens and roof decks shall be designed to minimize impacts on privacy in neighboring buildings and lots.



Rooftop garden natural screening

Preferred Standards

1. Roof forms such as gable, hip or shed roof combinations are strongly encouraged. If parapet roofs are used they should include detailing typical of Fort Bragg's character and design. Special care should be exercised in designing how the roof frames or meets the sky, which may include but not be limited to: use of false fronts, architectural detailing, and roof overhangs.
2. Roof overhangs are encouraged to create shadow and add depth to facades. Where applicable to the architectural style, roof eaves should extend at least 12" from primary wall surface to enhance shadow lines and articulation of surfaces and protect from driving rain. Smaller roof overhangs are permissible with rain screen or other technologies. Roof overhangs should be designed to facilitate passive solar heating.
3. Exposed structural elements (beams, rafter tails, etc.) are encouraged as roof overhang details.
4. Natural and non-reflective roof materials are encouraged, including cool roof and green roof techniques (planted with native plantings) are encouraged.



Roof mounted equipment shall be screened.



Windows, Doors, and Entries

Mandatory Standards

1. The size and location of doors and windows shall relate to the scale and proportions of the overall structure.
2. The main building entrance shall be distinguished from the rest of the building and easily recognizable and oriented toward the street, internal walkway, or courtyard whenever possible.
3. Buildings located on corners in pedestrian areas shall provide for visibility around the corner, by either including windows on both walls that intersect at the corner or an angled corner entryway.
4. Exterior stairways shall compliment the architectural style of building, where required they should be open to allow views for natural surveillance.
5. Windows shall be incorporated at storefront locations.
6. The use of clear glass (at least 80% light transmission) is recommended. Dark tinted glass and reflective mirror-like glass are not allowed.



Corner lot windows for visibility purposes

Preferred Standards

1. Front entry design should incorporate two or more of the following: front porch or stoop; recessed doors, archways, or cased openings; canopies; decorative detailing or placement of art; a projecting element above the entrance; integration of architectural elements such as flanked columns or decorative fixtures; changes in the roofline or a tower feature.
2. Window and door type, material, shape, and proportion should complement the architectural style of the building.
3. In general, upper stories should have a window to wall area proportion that is smaller than that of ground floor storefronts (typically 30 to 50 percent).
4. Windows should be articulated with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.



Front entries should incorporate multiple design features

Materials

Mandatory Standards

1. The following table identifies materials that are encouraged, acceptable and discouraged for use on a building's façade:

Encouraged

- Horizontal and vertical redwood or solid wood siding
- Stone veneer, authentic rock and similar natural materials
- Shingle siding
- Natural stone and brick
- Smooth stucco, hand troweled stucco
- Fiber cement siding with an authentic appearance, profile and dimension, over 3/8" thickness
- Other like materials

Acceptable

- Manufactured stone with an authentic appearance
- Board and batten
- Formed concrete
- Steel
- Glass block
- Corrugated metal/Architectural Metal Siding
- Other like materials
- Fiber cement siding with an authentic appearance, under 3/8' thickness

Discouraged

- Low quality wood engineered siding
- Textured/rough stucco
- Concrete block
- Ceramic tile, except as an accent material
- Slump rock
- Highly tinted, reflective, or opaque glass
- Vinyl siding
- Other like materials

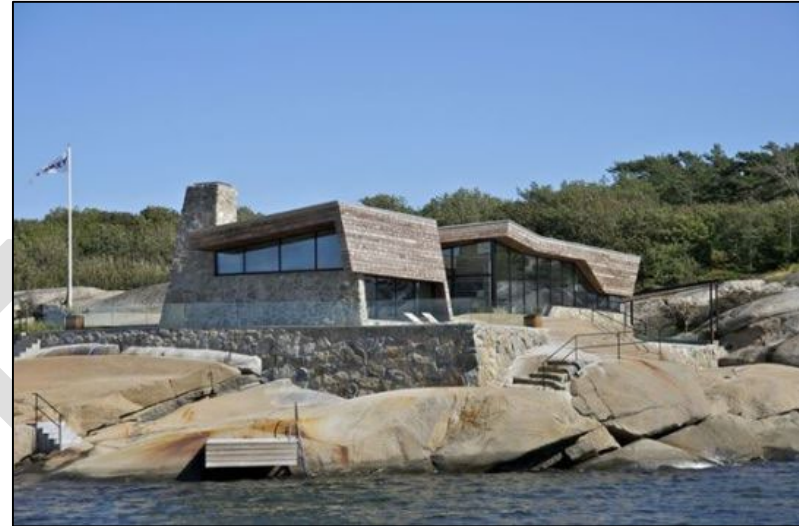
Preferred Standards

1. Materials should be varied to provide architectural interest, however, the number of materials and colors should be limited and not exceed what is required for contrast and accent of architectural features. Exterior materials and architectural details should relate to each other in ways that are traditional and logical.
2. The use of green building and sustainable materials is encouraged to exceed the minimum required by the California Building Code.
3. Materials should enhance different parts of a building's façade and be consistent with the desired architectural style.
 - a. Where appropriate to the architectural style, materials and textures should vary between the base and body of a building to break up large wall planes and add visual base to the building.
 - b. Heavier materials and darker colors should be used lower on the building elevation to form the building base.
 - c. Exterior columns or supports for site elements, such as trellises and porches, should utilize materials and colors that are compatible with the rest of the development.
4. Material changes should occur at intersecting planes, preferably at inside corners of changing wall planes or where architectural elements intersect such as a chimney, pilaster, projection, or fence line.

Colors

Preferred Standards

1. Colors should enhance different parts of a building's façade and be consistent with the desired architectural style.
2. Colors west of Highway 1 should recede in the view shed or be subordinate to the view shed. Dark earth tone colors are preferred where the view shed is dark and lighter earth tone colors may be preferred where the background is lighter.
3. Colors should visually relate building elements to each other, and also individual façades to each other. The colors chosen for a building façade should complement neighboring façades (but should not replicate).
4. Color should be used as an important design element in the development's appearance. Historically, certain color palettes were associated with particular architectural styles. Whenever possible, exterior building colors should reflect the basic colors of the architectural style or period of the building or its environment. For example, bright and rich color combinations associated with the Victorian Era are appropriate downtown. However, in the coastal zone color pallet should focus on earth tone colors. Bright and sharply contrasting colors should be avoided.
5. Colors used on exterior façades should be harmonious and contrasting compatible colors are encouraged to accentuate details
6. No fewer than two colors should be used on any given façade, and three or more colors are preferred. This includes any "natural" colors such as unpainted brick or stone. The three preferred colors should constitute the primary base color, secondary color and minor trim color.



Dark earth tones are preferred to blend with the environment

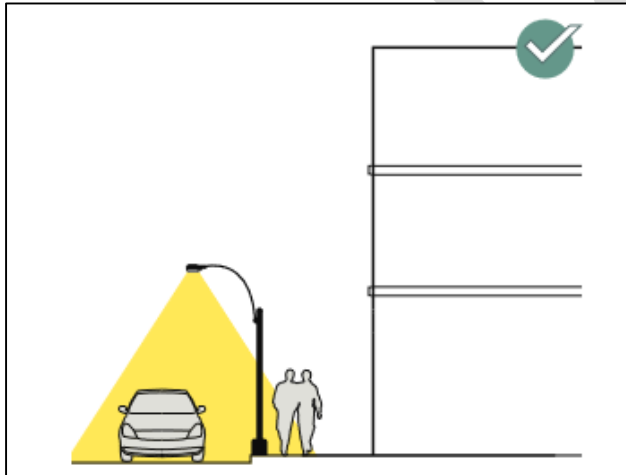


Historic color palettes should be used in the downtown

Lighting

Mandatory Standards

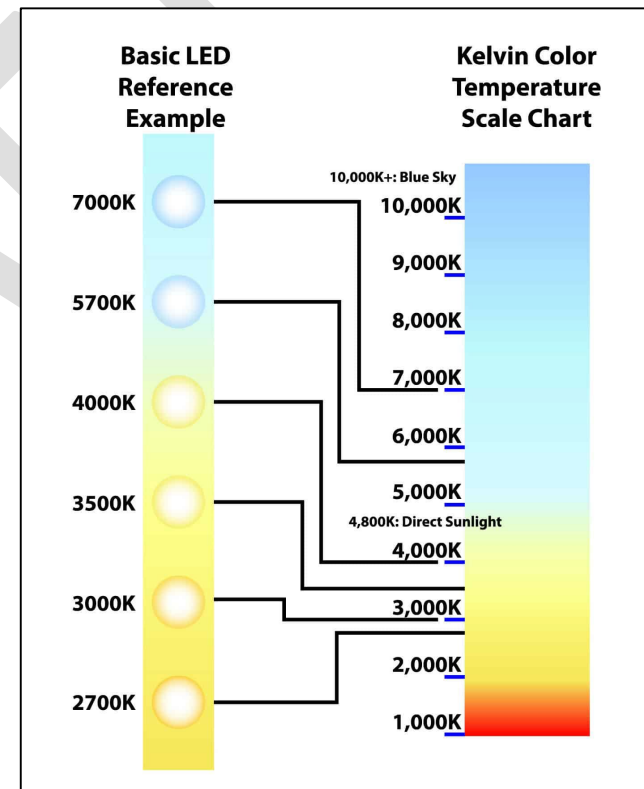
1. Exterior lighting shall be designed as part of the overall architectural style of the building and should illuminate entries, driveways, walkways, and activity areas.
2. Entrances shall be well illuminated for safety and identification purposes.
3. Lighting sources shall be hidden unless the sources are an integral part of the design. Lighting fixtures should not project above the fascia or roofline of the building.
4. Partial or full cutoff lighting is required. Exterior lighting shall be located and designed to avoid shining directly onto nearby residential properties, and shall minimize off-site glare. The latest technical and operational energy conservation concepts should be considered in lighting designs.
5. Parking lot lighting fixtures shall be no taller than 16 feet in height and shall cast light downward without allowing glare or light to encroach upon neighboring properties.



Design lighting to minimize spill onto adjacent properties

Preferred Standards

1. Subtle and minimalist lighting may be used to accent architectural features and landscaping. Accent lighting should not contribute to glare or distract from the overall ambient night lighting in the neighborhood.
2. Exterior lighting should not have a color temperature above 4500 Kelvin.
3. Site lighting should minimize impact between the various uses (i.e. shielding commercial lighting from residential uses).



Light temperature scale

Site Planning

Mandatory Standards

1. Buildings should be sited in order to minimize impacts to surrounding development and open space. Care should be taken to place structures well to minimize impacts to natural areas and natural contours.
2. Buildings should generally be oriented toward the street. Buildings on corner parcels should establish a strong tie to both streets.

Preferred Standards

1. Climate factors such as prevailing winds, window and door orientation, and the positioning of buildings on the site should be coordinated to maximize energy conservation and Photovoltaic (PV) access.
2. All building and site design should use passive solar design strategies for space heating and lighting to reduce energy demand to the extent feasible.



Orient buildings toward the street

Landscape

Mandatory Standards

1. Plants and trees with root systems that uplift hardscape materials shall be appropriately located away from paved and concrete areas.
2. Landscaping on parcels that are adjacent to the Coastal Trail shall use plants native to the northern California Coast. Invasive plants are prohibited.
3. Trees and plants native to the Northern California coast and those that flourish in the region, shall be selected. Plant materials should also be selected for their low maintenance qualities.



Plants native to the Northern California Coast shall be selected

Preferred Standards

1. Landscaping should generally incorporate plantings utilizing a three-tiered system: ground covers (including flowering plants – annuals and perennials), shrubs/vines, and trees.
2. Landscaping should enhance the character and sense of place for each project. Landscaping should help complete the design of a site and should not be added as an afterthought. The choice, placement, and scale of plants should relate to the architectural and site design of the project. Landscaping should enhance the quality of the development by framing and softening the appearance of buildings, screening undesirable views and equipment, providing buffers from incompatible uses, and providing protection from wind and rain. Landscaping should be in scale with adjacent buildings and be of appropriate size at maturity.
3. Landscaping designs that do not require irrigation systems are preferred. Projects that include irrigation shall emphasize water-efficient plants. Rainwater and greywater are encouraged to meet all irrigation needs.
4. Bio-swales and rain gardens should be utilized within landscaped areas to infiltrate storm water on site.
5. Landscaping features that define and accent specific areas such as building entry, parking lot entrances and the main walkways to community facilities are encouraged.

[General Plan Reference](#)
Goal S-1, Goal S-3, Policy S-3.4

Fencing and Screening

Mandatory Standards

1. Fences or walls of more than 100 ft should provide variation in the design – via changes in height, materials, embellishments, step backs, gates, etc. - to break up the length and provide visual interest.
2. Screening should not result in hiding places or entrapment areas.

Preferred Standards

1. Fences should be kept as low as possible while still performing their intended security, screening, or separation functions.
2. Fencing materials and colors of fences and walls should be consistent and compatible with the architectural themes on the site. Open, wooden or natural fencing are preferred.
3. Use of berms, vines and plantings should be used to screen less desirable areas from public view; i.e., any solid, windowless elevations, trash enclosures, propane tanks, parking areas, storage areas, loading areas, public utilities, and mechanical equipment.



Well articulated fencing

Open Space & Pedestrian Circulation

Preferred Standards

1. Courtyards, public space, plazas, and landscaped areas are encouraged.
2. Trees and public art should also be incorporated into courtyard, plaza, and mid-block passage design.
3. Open space areas should be sheltered from the noise and traffic of adjacent streets or other incompatible uses. Open space siting should give consideration to prevailing breezes and sun orientation in order to provide a comfortable environment.
4. Ideally, at least 50 percent of the open space area should have access to direct sunlight.
5. Shelters are encouraged to provide protection from inclement weather.
6. In commercial areas, open spaces and passages should be inviting, well lit, and accessed from multiple locations.

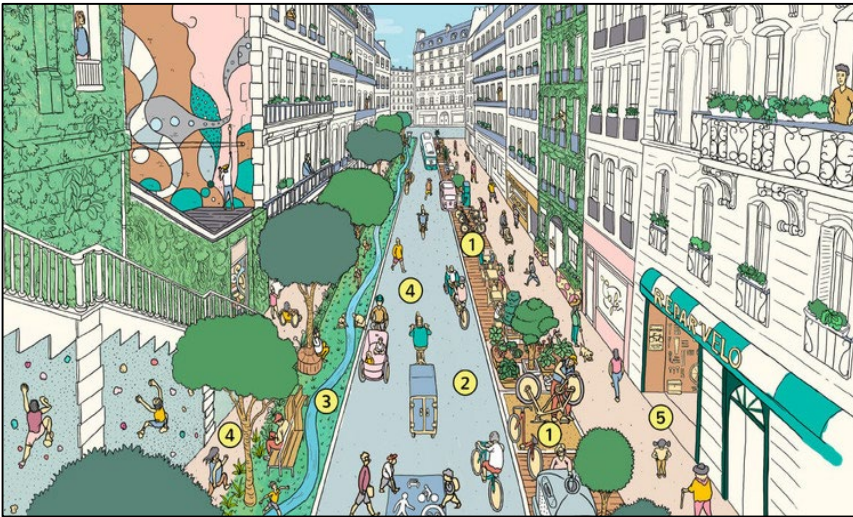


Mid-block passage public art

Site Amenities

Mandatory Standards

1. Building numbers and individual unit numbers shall be readily visible, in a consistent location, well lighted at night, and compatible with the overall design of the development.
2. Internal circulation signs and visitor parking areas shall also be clearly indicated. A directory that shows the location of buildings and individual dwelling units within the development is encouraged.



Pedestrian amenities are strongly encouraged

Preferred Standards

1. Where bus routes are located near the development, the site design should consider convenience and comfort factors for users. These include direct access, widened sidewalks, seating areas, and weather protection provided near public transit stops.
2. Pedestrian amenities (benches, shelters, drinking fountains, lighting, trash receptacles, electric vehicle charging stations, and bicycle racks) are strongly encouraged.
3. Pedestrian activity areas should provide a sufficient level of wind and rain protection for pedestrians. Canopies, trees, or other methods of protection should be provided.
4. The relative size and design of private street furniture should be compatible with the architectural style of the building to which it relates, while also complementing street furniture in the public realm. Street furniture should be constructed of durable, easily maintained materials that will not fade, rust, or otherwise quickly deteriorate.
5. Decorative paving is encouraged for entryways, courtyards, plazas, pedestrian walkways, and crosswalks. Paving materials should complement the architectural design of the building and landscape design: stamped concrete, stone, brick, pavers, exposed aggregate, and colored concrete are recommended

General Plan Reference
Goal C-1, Goal C-10, Policy C-3.4

Pedestrian Circulation

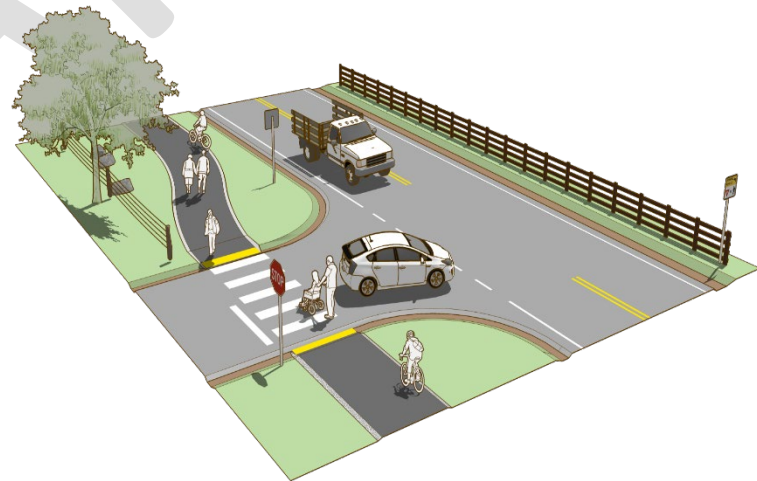
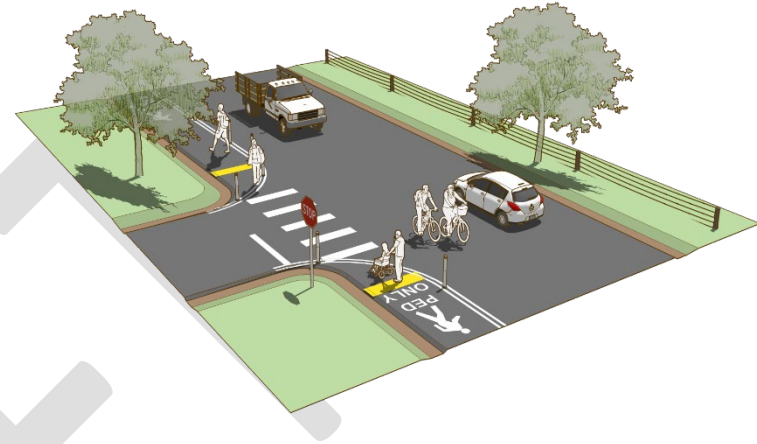
Pedestrian access connects buildings to their surroundings and encourages street activity.

Mandatory Standards

1. On-site drop-off areas shall be adjacent and parallel to streets and/or drive aisles to allow vehicles to get out of the main flow of traffic and stop. These include bus stops and pedestrian pick-up/drop-off areas
2. Development adjacent to Coastal Trail (Noyo Headlands Park) shall provide pedestrian access to the coastal trail.

Preferred Standards

1. Continuous, clearly marked pathways should be provided from the parking areas to main entrances of buildings. Design walkways and parking lots to minimize pedestrians crossing parking stalls and landscape islands to reach building entries.
2. Convenient pedestrian connections should be provided to adjoining developments, commercial projects, and other compatible land uses.
3. Pedestrian access to adjacent existing or planned open space areas and corridors should be provided for the development's users.
4. Raised walkways, decorative paving, landscaping, and/or bollards that separate pedestrians from vehicular circulation are encouraged.
5. Pedestrian walkways should connect common areas (parking, open space, playground, etc.) to site buildings, sidewalks and adjacent parks.



Examples of preferred pedestrian pathways

Circulation and Parking

Safe and efficient parking and circulation arrangements take into consideration the needs of pedestrians, children at play, parking lot appearance, and prevention of car theft or damage.

Mandatory Standards

1. Parking lots shall be well designed, with consideration given to landscaping, lighting, building massing, and pedestrian/vehicular circulation.
2. Parking shall be designed for safe ingress and egress. Site plans should balance the need to provide adequate vehicular access with the need to eliminate unnecessary driveway entrances.
3. Pedestrian connections and linkages within parking lots shall have a well-defined separation from vehicular circulation.
4. Shared parking is encouraged. Parking areas serving multiple uses shall consolidate parking into larger lots.

Preferred Standards

1. Locate parking lots to the rear of buildings, along alleys, or on side streets to avoid conflicts on major streets. When this is not possible, design the primary entry to the lot with patterned concrete or pavers to differentiate it from the sidewalk.
2. Parking areas should be linked to adjacent public sidewalks, pedestrian walkways, alleys, and open space areas.
3. Parking lots shaded with solar panels are encouraged.
4. Pedestrian access from parking lots to building entries should be defined in the design of the parking lots, creating clear and visible walkways. In addition, walkways should be landscaped with shade trees or shrubs and other pedestrian amenities. Pedestrian connections should

connect parking area to sidewalk through buffer areas at key locations.

5. The use of brick, interlocking pavers, and cobblestones and or permeable paving for drive isles and parking lots are encouraged.
6. Special accents that define the main parking lot entry are strongly encouraged.
7. Dead-end aisles are strongly discouraged.



Solar and shaded parking lots are encouraged

Additions, Remodels, & Renovations

Mandatory Standards

1. The design of a proposed addition shall follow the general scale, proportion, massing, and detailing of the original structure. New additions shall be interpretations of, or improve upon, the design of the existing structure wherein the main characteristics of the existing building are incorporated or improved upon using modern construction methods. This may include:
 - a. Using similar proportions
 - b. Extending the architectural lines from the existing building to the addition
 - c. Sensitivity to the patterns of window and entrance spacing and openings
 - d. Harmonizing with existing colors and materials
 - e. Inclusion of similar architectural details (i.e. window/door trim, lighting fixtures, decoration)
2. Building materials used for the addition shall be of comparable or better quality than the existing building.

Preferred Standards

1. Introducing or changing the location, size, or style of windows or other openings that alter the architectural rhythm or character of the original building is discouraged.
2. When original decorative details and architectural elements were covered up in previous remodeling, these forgotten details should be restored and incorporated in the design of the remodeled building.

Garages & Ancillary Structures

Mandatory Standards

1. Accessory structures shall be complementary in form, material, and color to the primary buildings.
2. The number of accessory structures shall be minimized; uses shall be combined where possible into one accessory structure.

Preferred Standards

3. Refuse and recycling storage areas are encouraged to be covered

Loading and Delivery

Mandatory Standards

1. Loading and delivery service areas shall be located and designed to minimize their visibility, circulation conflicts, and adverse noise impacts to the extent feasible.
2. Loading and delivery areas shall be screened with portions of the building, architectural wing walls, freestanding walls and/or landscaping planting.

Chapter 3: Specific Land Uses

Central Business District

Site Planning

Mandatory Standards

1. Buildings in CBD should be built to the front and side property lines to form a continuous line of active building fronts along the street and avoiding gaps. Exceptions to this standard are:
 - a. Portions of a building's façade may be set back to provide areas for plazas, pedestrian areas, pedestrian paseos, outdoor eating spaces, and small landscaped areas. Such areas should be provided with outdoor furniture and amenities appropriate for the space.
 - b. The provision of corner setbacks and cutoffs is strongly encouraged to facilitate pedestrian movement, provide better visibility for drivers, and accentuate corner buildings.
2. No parking shall be provided between building front doors and the street they face in the Central Business District.

Preferred Standards

1. In walkable shopping areas, building entrances should be spaced no more than 50 feet apart from each other (to provide a seamless retail experience and to increase social interaction and sidewalk activity).
2. The provision of usable pedestrian-oriented spaces is strongly encouraged. The following types of open space should be considered: plazas; courtyards; outdoor dining; corner cut-off areas with enhanced amenities; and mid-block pathways and/or alleys.



Buildings should be built to the front and side property lines



No parking shall be provided between the front doors and street

Architecture

Mandatory Standards

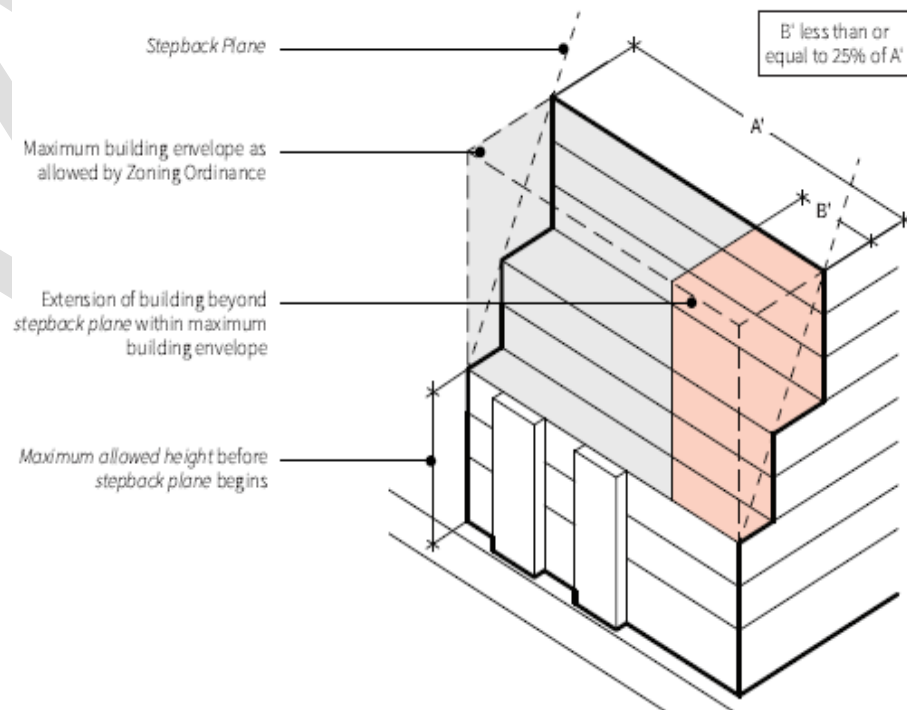
1. Human scale shall be created through the use of building forms such as arches, walls, trellises, awnings, arbors and pergolas.
2. Buildings shall be designed with a well-defined base, mid-section or body, and a top story or roofline.
 - a. Building base – The design of the building base should differentiate it from the upper floors of the building. This may be a projection of the lower wall surface and/or a different material or color. It may be created by a heavier or thicker design treatment of the entire ground floor for a building of two or more floors, or by a setback of the upper floors.
 - b. Mid-Section – The preferred architectural character of the mid-section is to treat it as a solid wall with recessed windows or groupings of windows. Long or large wall surfaces with flush-mounted windows or without windows should be avoided.
 - c. Roofs and Rooflines – The design of roofs and rooflines should provide visual interest from the streets below and should complement the overall façade composition. Roofs of historic commercial buildings should be used as an inspiration for new designs. Flat roofs and false facades are acceptable if a strong, attractively detailed cornice and/or parapet wall is provided.
3. Blank walls on elevations visible from public streets and gathering spaces are prohibited.
4. To divide the building mass of larger buildings into smaller scale components, buildings over 50 feet of frontage, visible from a public right of way, shall reduce the perceived mass and bulk by using one or more of the following:

- a. change in roof heights or wall plane;
- b. projecting or recessed elements;
- c. varying cornice or rooflines; or
- d. other similar means.

Preferred Standards

1. Architectural features in good proportion with the overall structure are encouraged. Gables, turrets, towers, or similar elements are encouraged to accent buildings at street corners, at the terminus of a street corridor, alley, or pedestrian way. Corner buildings should have prominent corner entrances.

Divide buildings into smaller scale components



Architectural Compatibility

Mandatory Standards

1. Buildings shall be composed of elements and details representative of Fort Bragg's architectural heritage. This may be expressed through the use of window and door treatments, storefront details, cornices, etc. Designers should familiarize themselves with the design elements and details used on older buildings in the downtown area and should incorporate contemporary versions of these older designs.
2. Whenever an infill building is proposed, identify the common horizontal elements (e.g. cornice line, window height/width and spacing) found among neighboring structures, and develop the infill using a similar rhythm or alignment.

Preferred Standards

1. The overall pattern of windows, wall panels, pilasters, building bays, and storefronts should be based on a module derived from Fort Bragg's prevailing module of ground level building features. Generally, storefronts and building bays should be based on modules of approximately 25 to 50 feet in width.



Buildings in the Central Business District should represent Fort Bragg's architectural heritage

Storefronts

Preferred Standards

1. Each storefront should be treated like a small building with its own base, roofline, and door and window pattern.
2. The base panel (bulkhead) below the display window should be a minimum of 24 inches and a maximum of 40 inches. Materials in this area should be visually heavier than adjacent walls.
3. Recess entries that provide for weather protection and a transition zone from sidewalk activity into the store are strongly encouraged. Recommended treatments include: special paving materials such as ceramic tile or brick; ornamental ceilings such as coffering; and decorative light fixtures.
4. Cornices should be provided at the second floor to differentiate the storefront from upper levels of the building and to add visual interest.
5. The following details are encouraged to add visual interest and functionality: hanging or mounted light fixtures with decorative metal brackets; decorative scuppers, catches and downspouts; balconies, rails, finials, corbels, plaques; and metal grille work at vent openings.
6. Doors should be substantial and well detailed. They should match the materials, design, and character of display window framing.



Each storefront should be treated like a small building

Mixed Use Development

Site Planning

Mandatory Standards

1. Loading areas and refuse storage facilities for the commercial use should be located as far as possible from residential units and should be completely screened from view from adjacent residential portions of the project or another adjacent residential uses. The location and design of refuse storage facilities should mitigate nuisances from odors when residential uses might be impacted.



Buildings should be arranged to create opportunities for common open space

Preferred Standards

1. Residential buildings should be arranged to create opportunities for common open space for the residential use. Common open space areas should be completely separated from other uses on the site and should provide a semi-private gathering place for residents.
2. Buildings should be constructed near or along the front property line(s). The minimal allowable setback should be used from the primary property line(s) is encouraged.
3. On larger parcels, projects should provide pass-through or plazas to facilitate pedestrian access to parking areas and surrounding uses and to create pedestrian gathering spaces.



Buildings should be constructed along the front property line(s) with minimal setbacks

Architecture

Mandatory Standards

1. When residential & commercial uses are in the same structure, separate pedestrian entrances should be provided for each use.
2. All roof-mounted equipment should be completely screened from views above. Special consideration should be given to the location and screening of noise generating equipment such as refrigeration units, air conditioning, and exhaust fans so that they don't disturb residences.

Preferred Standards

1. The architectural style and use of materials should be consistent throughout the entire mixed use project. However, differences in materials and/or architectural details may differentiate the residential portion of the project from the commercial portion of the project.



Architectural style and materials should be consistent

Site Amenities

Mandatory Standards

1. Outdoor Space. include publicly accessible, designed outdoor space for resident and public use, that is proportionate to the size of the proposed buildings. Public spaces can include plazas, parks, courtyards, corridors, sidewalk cafes, trails, outdoor seating areas and/or similar active and passive areas. Public spaces should be located in visually prominent, accessible and safe locations that promote year-round activity.
2. Usable open space or public gathering places accessible to the community (e.g., a roof garden, expanded waiting area adjacent to a bus stop, etc.) shall be provided when feasible.
3. Landscaping, shade trees, and benches shall be incorporated into the site design as well as outdoor dining areas to encourage pedestrian activity on the ground floor level of a building.



Outdoor space shall be proportional to the size of the buildings

Street Design

Preferred Standards

1. Street Design interior to each development, the pedestrian-oriented street design should include on-street, diagonal or parallel parking; wide pedestrian walkways along building frontages; street trees in tree grates or planting beds; and/or bulb-outs. Pedestrian crossings shall be included at regular intervals along the internal roadway system for maximum connectivity. Center median landscaping is encouraged.
2. Design landscaping islands and walkways to connect building entries where possible.
3. Minimize conflicts between pedestrians and vehicles by limiting curb cuts. Provide shared curb cuts between adjacent properties in multi-site developments wherever possible.



Landscape islands and walkways should connect building entries



Pedestrian oriented walkways with street trees



Provide shared curb cuts

Compatibility with Adjacent Uses

Mandatory Standards

1. To ensure and protect the privacy of residents in adjacent single-family homes, windows in mixed-use projects facing single-family residences within 15 feet of the property line, shall be carefully arranged. Examples of privacy options include translucent or louvered windows, offset window patterns, or clerestory windows.
2. Site planning and building design shall provide for convenient pedestrian access from the public street into the nonresidential portions of the project, through such means as courtyards, plazas, walkways, and street furniture.
3. Upper floors of mixed-use buildings shall be stepped back when adjacent to single-family residences.
4. Mixed-use projects shall be designed to minimize vehicular circulation on streets through local single-family neighborhoods.
5. New development over a single story shall be designed in a way to minimize impact to natural ventilation and solar access on adjacent properties.



Upper level step backs reduce looming impacts

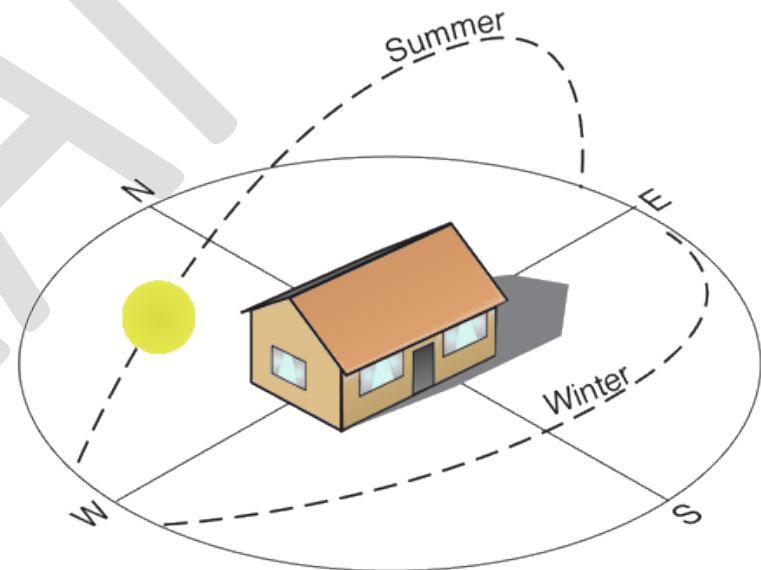
Construction between Uses

Mandatory Standards

1. Common walls between residential and non-residential uses shall be constructed to minimize the transmission of noise and vibration.
2. Orient buildings to minimize impact on natural ventilation and natural daylight for residences.

Preferred Standards

1. Where practical, mechanical equipment and other sources of noise should be located away from building areas and exterior spaces designed for use by residents.



Orient buildings to minimize impact on natural daylight

Site Planning – New Single Family Subdivisions

Mandatory Standards

1. Variation of development patterns within new neighborhoods is necessary to achieve visual diversity and avoid a monotonous appearance. One or more of the following techniques shall be incorporated into the project's design to help achieve diversity.
 - a. Varied front yard setbacks – Placement of homes and garages close to or back from the street creates different patterns of visible open space. The structures themselves, when close to the street, also add diversity to the view.
 - b. Varied lot widths & sizes – Making some lots wider, and some narrower, than the average lot provides different amounts of open area between structures. It also allows placement of different sizes and shapes of homes that give a neighborhood more character and individuality.

Preferred Standards

1. Residential structures should be oriented and placed for:
 - 1) energy access and efficiency; and 2) to improve the streetscape with front doors and porches facing the street and garages and parking pulled behind the buildings to reduce their dominance

Site Planning – New Multi Family Developments

Mandatory Standards

1. New multi-family residential structures shall be compatible with other development in the immediate area. New structures should complement existing development through scale, proportion, height, form, style, siting, and relationship to surrounding structures.
2. Buildings shall be oriented toward the street. Buildings should be oriented to provide some privacy yet still relate to the street and the existing community. Doors should be visible from the street and windows should allow residents to have "eyes on the street" for natural surveillance.
3. In addition to a street orientation, the clustering of multi-family units shall be a consistent site planning element. Whenever possible, buildings should be configured around courtyards, gathering areas, and open spaces.

Preferred Standards

1. Mailboxes should be located in highly visible, heavy use areas for convenience, to allow for casual social interaction, and to promote safety. A bench or seating area in close proximity to the mailbox location is strongly encouraged. A recycling receptacle should be located adjacent to the mailboxes.
2. Clusters of smaller buildings (with one to 6 units) are preferred over large buildings with more than 6 units per building.

Architectural Design

Mandatory Standards

1. Carports and detached garages shall be designed as an integral part of the development's architecture. They should be similar in material, color, and detail to the main buildings of the development. Flat roofs should be avoided. Prefabricated metal carports should not be used.
2. The design of houses shall be varied within new neighborhoods to create diversity and interest. Housing on a street should include variability in massing, composition, architectural style, finish materials and colors. Repeating designs are permissible, only if the quality of the design is excellent and repetition is part of the architectural style. Repetitive units should not comprise more than eight units in a row or 50% of the units on any single block, whichever is more.

Preferred Standards

1. Use of single-family residential design elements (e.g., pitched roofs, porches, individual entries) are recommended to reduce perceived density, give identity to the development and its individual dwelling units, add visual interest, and be compatible with the neighborhood context.
2. Buildings with height greater than two stories that step back the structure on the upper floor from the street and public spaces are encouraged.

Open Space & Outdoor Play Areas

Mandatory Standards

1. Children's play areas shall be visible from as many units as possible and from private open space areas. Direct convenient access from private open space to the communal play area is encouraged.
2. Projects in new developments shall include bike paths as part of the street section, where feasible. Additionally, landscaping should be provided between the sidewalk and the street.

Preferred Standards

1. A series of connected open space areas of varying shape, appearance and usage are encouraged.
2. Boundaries between private and common open spaces should be clearly defined by low walls or plant materials.
3. Outdoor play areas should be located adjacent to laundry rooms, community centers, or similar common facilities. Play areas should not be located near public streets, parking, or entry areas unless physically separated by appropriate walls, fencing, or dense landscaping.
4. Hard surface areas for outdoor activities (e.g., bicycle riding, skating, rope jumping, and hopscotch) should be provided. These active play areas should be safely separated from vehicular use areas.
5. In larger developments, separate, but not necessarily segregated, play areas or informal outdoor spaces should be provided for different age groups for safety reasons. Small developments may combine play areas (e.g., a tot lot incorporated into a larger activity area for older children).
6. Seating areas should be provided where adults can supervise children's play and also where school-age children can sit. Seating location should consider comfort factors, including sun orientation, shade, and wind.

Auto Repair Services

Mandatory Standards

1. Parking spaces for vehicles stored for repair shall be located in the least visible areas of the site. Surface parking lots shall be screened with active building space, fencing, art and/or landscaping to provide a visual buffer between the public right of way and stored vehicles.
2. Special design considerations should be made for the storage of oil, lubricants and other potentially hazardous materials.
3. Compressors and pneumatic equipment shall be used in enclosed structures.
4. Adequate storage and trash areas shall be designed to accommodate disposal of junk parts, packing, and used oil and lubricants.

Preferred Standards

1. Service/work bays should be oriented so that the interiors are not visible or audible from adjacent public streets, residential structures, or active open space. If such an arrangement is not possible, dense landscaping and/or screen walls should be used.
2. Sufficient space for vehicle drop-off should be provided. Site design should provide space for vehicle stacking during peak hours.

Service Stations

Mandatory Standards

1. Driveway cuts shall be limited to two per site.
2. Each pump island shall include a vehicle stacking area for at least three vehicles on at least one end of the pump island.

Preferred Standards

1. Buildings containing service or car wash bays should not face toward a public street nor adjacent residential property.
2. The site design for projects located at street corners should provide a strong design element at the corner to help frame the public right-of-way and anchor the corner.
3. The site design should accommodate circulation and traffic volumes, minimizing paving and soften paved areas with landscaping.



Soften paved areas with landscaping

Drive-Through Businesses

Mandatory Standards

1. The building shall be the dominant visual feature from the street frontage, not the parking lot or the drive-through aisle.
2. Drive-through aisles shall be located at the rear of the building away from the street frontage whenever possible. If the drive-through aisle is located between the building and the street, dense landscaping and landscaped berms should be provided to screen the drive-through aisle from view from the street.
3. Drive-through lanes shall accommodate vehicle stacking at the menu board and at the pick-up windows to ensure adequate circulation.
4. Drive through lanes and loading/unloading areas shall be located as far as possible from residential properties.
5. Franchise formula architecture is strongly discouraged. Franchise identifying features shall be limited to the company's logo and signs.

Preferred Standards

1. Outdoor eating areas are encouraged and should include details such as trellises, low walls, fountains, etc.
2. Drive through should have a waiting area.



Franchise architecture is strongly discouraged



Drive through lanes shall be screened with dense landscaping

Hotels and Motels

Mandatory Standards

1. Walkway, stairway, balcony railings, and other similar architectural details shall be consistent with basic building design.
2. Hotels adjacent to, or across from, the Coastal Trail and parkland are subject to the following specific design guidelines, in addition to all the remaining relevant guidelines.
 - Properties shall provide pedestrian connections to the Coastal Trail
 - Hotels what provide a pedestrian friendly building frontage that faces the Coastal Trail;
 - All buildings shall be architecturally complete when viewed from the Coastal Trail;
 - All fences and walls should frame and protect views to coast;
 - All buildings shall be sided with natural or natural appearing materials that have been proven to perform in harsh coastal environments; and
 - All structures shall be of muted colors of natural tones.
3. Surface parking lots shall be screened with active building space, art, landscaping, etc. to provide a buffer between the public right of way and vehicles while still allowing for visibility. Delivery and loading areas should be located toward the rear of the property and screened to minimize impact on incompatible uses.

Preferred Standards

1. Design of hotels and motels should draw upon the architecture of historic hotels in California for inspiration and design features, materials, and color.
2. For structures over two stories, access to guestrooms should be provided from the hallway interiors.
3. Roof forms typical of residential buildings such as gable, hip or shed roof combinations are strongly encouraged.
4. Parking, delivery and loading area, and mechanical equipment should be screened from parks and pedestrian oriented streets with buildings and landscaping.



Hotels adjacent to the coastal trail are subject to additional design guidelines

Chapter 4: Industrial

Architectural Form & Detail

Mandatory Standards

1. Large unadorned and un-fenestrated wall expanses are permissible for industrial buildings. However, large expanses shall be broken up with expansion joints, reveals, and/or changes in texture, color or materials.
2. Large expanses of highly reflective surface and mirror glass exterior walls shall be avoided to prevent glare impacts on adjacent public streets and properties.
3. The mass and scale of large, box-like industrial buildings may be reduced through the incorporation of varying building heights and setbacks along the front and street side building façades.
4. Street side facades of large industrial buildings, that are visible from a public street, shall include architectural features such as reveals, windows, openings, and changes in color, texture, and material to add interest to the building elevation and reduce visual mass.
5. The following table identifies materials that are encouraged, acceptable, and discouraged for use on building façade:

Encouraged

- Horizontal and vertical redwood or solid wood siding
- Shingle siding
- Stucco
- Fiber cement siding
- Other like materials

Acceptable

- Real brick and rock
- Board and batten
- Formed concrete

- Steel or other metals
- Glass block
- Concrete block
- Ceramic tile
- Other like materials

Discouraged

- T1-11 or other low quality wood siding
- Corrugated fiberglass
- Slump rock
- Highly tinted, reflective, or opaque glass
- Other like materials

Preferred Standards

1. The mass and scale of large, box-like industrial buildings may be reduced through the incorporation of varying building heights and setbacks along the front and street side building façades.
2. Light industrial buildings in the Mill Site Light Industrial zoning district should have an industrial or contemporary architectural character that is consistent with the historic fabric of the Mill Site or the development patterns of the nearby skunk train industrial buildings.
3. Street side facades of large industrial buildings, that are visible from a public street, should include architectural features such as reveals, windows, openings, and changes in color, texture, and material to add interest to the building elevation and reduce visual mass.
4. Primary building entries should be readily identifiable and well defined through the use of projections, recesses, columns, roof structures, or other design elements.

Accessory Buildings

Mandatory Standards

1. Temporary buildings (e.g., portable modular units and shipping containers) shall not be visible from public streets or parks.
2. Modular buildings shall be skirted with material and color that is compatible with the modular unit and the main buildings on the site.

Preferred Standards

1. The design of accessory buildings (e.g., security kiosks, maintenance buildings, and outdoor equipment enclosures) should be incorporated into and be compatible with the overall design of the project and the main buildings on the site.



Temporary buildings shall not be visible from public streets

Landscape Design

Mandatory Standards

1. When industrial/warehouse uses are located adjacent to less intense uses (e.g., residential or retail commercial), additional landscaping in conjunction with appropriate decorative walls and setbacks should be provided to mitigate potential adverse impacts.

Preferred Standards

1. Landscape design should follow an overall concept and should link various site components together.
2. The use of trees and shrubs, near, and vines, on, walls to soften the appearance of buildings and walls and to deter graffiti is strongly encouraged.



Use of landscaping is strongly encouraged

Walls & Fences

Mandatory Standards

1. The colors, materials, and appearance of walls and fences, including walls for screening purposes shall be compatible with the overall design character/style of the development.
2. When security fencing is required adjacent to streets, it shall consist of wrought iron, tubular steel, wood fencing or similar materials.

Preferred Standards

1. Walls and fences can be used to visually soften blank surfaces and to deter graffiti.



Screening fencing shall consist of wrought iron, tubular steel, etc.

Outdoor Lighting

Mandatory Standards

1. Outdoor lighting (e.g., location, height, and number) shall be designed to foster security. Site and building entries should have enhanced illumination to increase visibility and safety.

Storage & Utility Equipment

Mandatory Standards

1. Outdoor storage areas (for raw and finished goods) should be screened from views from the public right of way, where feasible.
2. If refuse storage areas, fuel tanks, generators, and fire check safety valves cannot be located out of public view, the design of these areas should incorporate architectural screening elements and landscaping compatible with the design of buildings and landscaping on the site.



Outdoor lighting shall be designed to foster security

Chapter 5: Signs

Overall Sign Guidelines

Mandatory Standards

1. Signs shall be designed to relate to the architectural features of the building on which they are located and create visual continuity with other storefronts on the same or adjacent buildings.
2. Signs shall coordinate with the building design, materials, color, size, and placement.

Preferred Standards

1. Signs that reflect the type of business through design, shape, or graphic form are encouraged.
2. Signs should coordinate with the building design, materials, color, size, and placement.



Signage shall coordinate with the building design

Sign Legibility

Preferred Standards

1. Use a brief message. The fewer the words, the more effective the sign's message. A sign with a brief, succinct message is simpler and faster to read, looks cleaner, and is generally more attractive.
2. Encourage unique signs, but avoid typefaces that are too faddish or bizarre.
3. Use significant contrast. Generally, light colored letters and a darker, contrasting background presents the most visible and best-looking image.
4. Use symbols and logos. Pictographic images will usually register more quickly in the viewer's mind than a written message.
5. Signs, which advertise the occupant business through the use of graphic or crafted symbols, such as shoes, keys, glasses, or books, are encouraged. Figurative signs may be incorporated into any of the allowable sign types identified above.
6. Use easy to read lettering styles. Typefaces that are difficult to read reduce the sign's ability to communicate. Avoid spacing letters and words too close together.
7. Lettering shall not occupy more than 75 percent of the sign face.

Sign Placement

Mandatory Standards

1. Signs shall not project above the edge of the rooflines and should not obstruct windows and/or doorways.
2. The location and extent of signs and advertising shall not obstruct scenic views.

Preferred Standards

1. Hanging signs attached to buildings that project perpendicular to the building are encouraged in pedestrian areas.
2. Signs should be placed at or near the public entrance to a building or main parking area to indicate the most direct access to the business.
3. Signs should be sized and placed consistent with the proportions of the building's façade. For example, a particular sign may fit well on an upper, more basic wall, but would overpower and obstruct the finer detail of a lower storefront area. A sign appropriate near the building's entry may look tiny and out of place above the ground level.
4. Signs should not cover or interrupt the architectural details or ornamentation of a building's façade.

Sign Color

Mandatory Standards

1. Bright Day-Glo (fluorescent) colors are prohibited as they are distracting.

Preferred Standards

1. Three or fewer colors are encouraged on a single sign.
2. Contrast is an important influence on the legibility of signs. The most aesthetic and effective graphics are produced when light colored letters and images are placed on a dark contrasting colored background.



Most aesthetic graphics are produced with light lettering and contrasting backgrounds

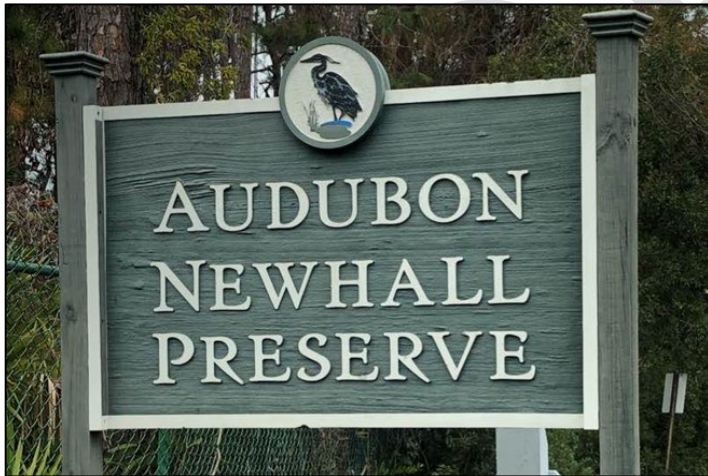
Sign Materials

Mandatory Standards

1. Sign materials shall be very durable. The following sign materials are encouraged for downtown Fort Bragg:
 - a. Wood (carved, sandblasted, etched, properly sealed and painted, or stained); Wood should be properly sealed to minimize moisture damage.
 - b. Metal (formed, etched, cast, engraved, and properly primed and painted or factory coated to protect against erosion)
 - c. Subtle custom neon tubing incorporated into sign or reminiscent of historic signs
2. Should a sign cabinet be made out of a plastic material, it shall emulate preferred sign materials (i.e. wood or metal).

Preferred Standards

1. Sign materials should be selected with consideration for the architectural design of the building's façade. Sign materials should complement the materials on the façade and should contribute to the legibility of the sign.



Example of a plastic sign emulating wood

Wall Signs

Mandatory Standards

1. Wall signs shall not project from the surface upon which they are attached more than that required for construction purposes and in no case more than 6 inches.

Preferred Standards

1. A wall sign should be located where the architectural features or details of the building suggest a location, size, or shape for the sign. The best location for a wall sign is generally a blank area between the first and second floors of a building.
2. Wall signs and "ghost" signs painted directly on a structure may be appropriate in some cases. On historic structures ghost signs often lend an air of age and authenticity.



Example of an acceptable ghost sign

Sign Illumination

Mandatory Standards

1. Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or adjacent residential units.
2. Internally-illuminated cabinet-type signs are discouraged. If internally illuminated cabinet signs are used, their sign panels should be opaque so that when illuminated only the lettering, not the background, is illuminated. The background or field should have a non-gloss, non-reflective finish. White and light backgrounds are prohibited for internally illuminated cabinet signs.
3. Blinking, rotating, flashing, changing, or reflecting lights are prohibited.
4. Electrical transformer boxes and raceways shall be concealed from public view. If a raceway cannot be mounted internally behind the finished exterior wall, the exposed metal surfaces of the raceway shall be finished to match the background wall, or integrated into the overall design of the sign. If raceways are necessary, they shall be as thin and narrow as possible and shall never extend in width or height beyond the area of the sign's lettering or graphics. All exposed conduit and junction boxes shall be appropriately concealed from public view.

Preferred Standards

1. Indirect sign illumination is preferred.
2. Whenever indirect lighting fixtures are used, care shall be taken to properly shield the light source.
3. The use of backlit, individually cut letter signs is strongly encouraged for all types of business and signs, including monument-type signs.
4. Neon lighting is discouraged for the lettering of the sign except neon lettering that has a historic quality; innovative use of neon for images or logos may be appropriate.
5. Exterior sign light should be dimmed or turned off after 10PM when adjacent to residential sites.
6. Sign lighting should maintain a Kelvin color temperature below 4,500 Kelvin.



Internally illuminated cabinet signs are discouraged

Projecting Signs

Mandatory Standards

1. Projecting signs shall be used for ground floor uses only. On a multi-storied building, the sign should be suspended between the bottom of the second story windowsills and the top of the doors or windows of the first story.
2. Sign supports and brackets shall be compatible with the design and scale of the sign and the architectural design of the building. Decorative iron and wood brackets are encouraged.
3. Internal illumination of projecting signs is prohibited.

Preferred Standards

1. Small, pedestrian-oriented signs are strongly encouraged. Projecting signs are especially appropriate in downtown Fort Bragg and Neighborhood Commercial developments.
2. Projecting signs should be hung at a 90-degree angle from the building face. The distance between projecting signs should be at least 25 feet.
3. Where overhangs or covered walkways exist, pedestrian-oriented hanging signs are encouraged.



Projecting signs hung at 90 degrees and separated by 25'

Awning Signs

Mandatory Standards

1. Backlit, internally illuminated awnings are prohibited.
2. Only permanent signs that are an integral part of the canopy or awning shall be used. Awning signs shall be painted directly on the awning.

Preferred Standards

1. Awning signs are appropriate for ground and second floor uses.
2. Sign text should only be located on the valance portion of the awning. Letter color should be compatible with awning and building colors.
3. Materials intended for a coastal climate are encouraged.



Prohibited awning sign

Window Signs

Mandatory Standards

1. Window signs (permanent or temporary) shall not cover more than 20-percent of the area of each window.
2. The text or sign copy of a window sign shall be limited to the business name, and brief messages identifying the product or service (e.g. "maternity wear" or "attorney"), or pertinent information (e.g. "reservations required").

Preferred Standards

1. Window signs should be individual letters placed on the interior surface of the window and intended to be viewed from outside. Glass-mounted graphic logos are also appropriate.



Window signs shall be limited to the business name and brief messages identifying the product or service

Monument Signs

Mandatory Standards

1. Monument signs may be internally illuminated, however, the sign copy shall be the only portion of the sign face that is illuminated. The sign background or field shall be opaque with a non-gloss, non-reflective finish. Signs with individual back-lit letters, or stenciled panels with three-dimensional push-through graphics are encouraged.
2. Monument signs shall be placed perpendicular to the street.
3. Monument signs shall be placed so that sight lines at entry driveways, pedestrian thoroughways, and circulation aisles are not blocked.
4. Monument signs shall be designed to create visual interest and compliment their surroundings. Monument signs shall incorporate architectural elements, details, and articulation as follows:
 - a. Provide architectural elements on the sides and top to frame the sign pane(s). Use columns, pilaster, cornices, and similar details to provide design interest.
 - b. Incorporate materials and colors into the sign support structures to match or be compatible with materials and colors of the development the sign serves so it does not appear out of scale with its adjacent building(s).
5. Monument signs shall incorporate landscaping at their base. Landscaping around monument signs should be designed to ensure the long-term readability of the sign.

Preferred Standards

1. Freestanding monument signs (on ground) are strongly encouraged over pole signs.

Pole Signs

Mandatory Standards

1. Single Pole-mounted signs are discouraged.
2. Pole signs shall incorporate architectural elements into the sign portion of the sign as well as the supporting structure.
3. Pole signs may be internally illuminated, however, the sign copy shall be the only portion of the sign face that is illuminated.
4. Pole signs shall incorporate a landscaped area at the base of the sign equal to one to two times the size of the sign face.
5. Pole signs are prohibited in the Central Business District.



Pole signs shall incorporate a landscaped area at the base







Design Guidelines Update

March 30, 2022

Background

- ▶ Comprehensive design objectives
- ▶ Work of 2021 Ad-Hoc team
- ▶ Revisions from 2019 draft
- ▶ 2nd meeting regarding the update



Revisions from March 16 Meeting

► Mill Site reuse:

“The former Georgia Pacific Mill Site, sited west of Highway One is currently zoned Timber Resources Industrial and provides a unique development opportunity for the City of Fort Bragg and the region. Following closure of the mill, extensive community planning has taken place to determine reuse of the Mill Site, including future development design considerations. These design considerations are imbedded into the citywide approach, and several guidelines specifically reference development west of Main Street.”

Revisions from March 16 Meeting

- ▶ Page 16 - Revised material preferences
- ▶ Multiple pages - spelling error corrections
- ▶ Multiple pages - revised photos



Comments from the Public

- ▶ Guidelines related to Fort Bragg's historic character. Should the guidelines direct applicant?
- ▶ Cart Corrals: Should there be additional guidelines for cart corrals?
- ▶ Preliminary Design Review: Should the Guidelines recommend preliminary design review with PC?
- ▶ Signs: Stricter guidelines related to signs?

Recommendation

- ▶ Planning Commission should review the draft Design Guidelines and provide a recommendation of approval to City Council.





CITY OF FORT BRAGG

Incorporated August 5, 1889

416 N. Franklin Street, Fort Bragg, CA 95437
Phone: (707) 961-2827 Fax: (707) 961-2802
www.FortBragg.com

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Fort Bragg Planning Commission will conduct **two** public hearings. These meetings may be heard at Town Hall, 363 North Main Street, Fort Bragg, California. The public hearing will be live-streamed on the City's website at city.fortbragg.com and on Channel 3. The public hearing will concern the following item:

APPLICANT: City of Fort Bragg

APPLICATION NO: Citywide Design Guidelines Amendment 1-22

MEETING ONE: Planning Commission Study Session: Wednesday, March 16, 2022 at 6:00PM, or soon thereafter. This will be an information meeting regarding the Citywide Design Guidelines amendments, with presentations by City staff and time for the public and commission to ask questions of staff.

MEETING TWO: Planning Commission Public Hearing: Wednesday, March 30, 2022 at 6:00PM, or soon thereafter. This will be a public hearing where the Planning Commission will consider recommending adoption of the Citywide Design Guidelines to the Fort Bragg City Council.

The hearing will be opened for public participation. All interested persons are invited to appear at that time to present their comments. The public comment period runs from the date this notice is published until the date of the hearing to allow sufficient time for submission of comments by mail. Public Comments regarding this Public Hearing may be made in any of the following ways: (1) Emailed to the Community Development Department, at CDD@fortbragg.com; (2) Written comments delivered to City Hall, 416 N. Franklin Street; or (3) Verbal comments made during the meeting, in person at Town Hall.

The proposed document that will be considered by Commissioners will be made available for review on the City's website: <https://cityfortbragg.legistar.com/Calendar.aspx> at least 24 hours prior to the special Planning Commission meeting. The proposed document is also available for review and/or copying during normal office hours at Fort Bragg City Hall, 416 N. Franklin Street. To obtain application materials or for more information, please contact Kevin Locke, Assistant Planner, via email at klocke@fortbragg.com. At the conclusion of the public hearing, the Planning Commission will consider making a recommendation on the above matter.

DATED: March 3, 2022

Sarah Peters
Sarah Peters, Community Development

PUBLISHED/POSTED: March 3, 2022

STATE OF CALIFORNIA)
) ss.
COUNTY OF MENDOCINO)

I declare, under penalty of perjury, that I am employed by the City of Fort Bragg in the Community Development Department; and that I caused this notice to be posted in the City Hall Notice case on March 3, 2022.

Sarah Peters
Sarah Peters, Community Development

cc: Planning Commission
Public Hearing Notify Me



CIUDAD DE FORT BRAGG

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AVISO DE AUDIENCIA PÚBLICA

POR LA PRESENTE SE NOTIFICA que la Comisión de Planificación de Fort Bragg llevará a cabo **dos** audiencias públicas. Estas reuniones se pueden escuchar en el Ayuntamiento, 363 North Main Street, Fort Bragg, California. La audiencia pública se transmitirá en vivo en el sitio web de la Ciudad en city.fortbragg.com y en el Canal 3. La audiencia pública se referirá al siguiente tema:

SOLICITANTE: Ciudad de Fort Bragg

NUMERO DE APLICACIÓN: Enmienda 1-22 de las pautas de diseño de toda la ciudad

PRIMERA REUNIÓN: Sesión de estudio de la Comisión de Planificación : **miércoles, 16 de marzo de 2022 a las 18:00**, o poco después. Esta será una reunión de información sobre las enmiendas a las Pautas de diseño de la ciudad, con presentaciones del personal de la ciudad y tiempo para que el público y la comisión hagan preguntas al personal.

SEGUNDA REUNIÓN: Audiencia Pública de la Comisión de Planificación : **miércoles, 30 de marzo de 2022 a las 18:00**, o poco después. Esta será una audiencia pública en la que la Comisión de Planificación considerará recomendar la adopción de las Pautas de diseño para toda la ciudad al Ayuntamiento de Fort Bragg.

La audiencia estará abierta a la participación pública. Se invita a todas las personas interesadas a presentarse en ese momento para presentar sus comentarios. El período de comentarios públicos se extiende desde la fecha de publicación de este aviso hasta la fecha de la audiencia para permitir el tiempo suficiente para la presentación de comentarios por correo. Los comentarios públicos con respecto a esta audiencia pública se pueden hacer de cualquiera de las siguientes maneras: (1) por correo electrónico al Departamento de Desarrollo Comunitario, a CDD@fortbragg.com; (2) Comentarios escritos entregados al Ayuntamiento, 416 N. Franklin Street; o (3) Comentarios verbales hechos durante la reunión, en persona en el Ayuntamiento.

El documento propuesto que será considerado por los Comisionados estará disponible para su revisión en el sitio web de la Ciudad: <https://cityfortbragg.legistar.com/Calendar.aspx> al menos 24 horas antes de la reunión especial de la Comisión de Planificación. El documento propuesto también está disponible para su revisión y/o copia durante el horario normal de oficina en el Ayuntamiento de Fort Bragg, 416 N. Franklin Street. Para obtener materiales de solicitud o para obtener más información, comuníquese con Kevin Locke, planificador asistente, por correo

electrónico a klocke@fortbragg.com. Al concluir la audiencia pública, la Comisión de Planificación considerará hacer una recomendación sobre el asunto anterior.

FECHA: 3 de marzo de 2022

Sarah Peters

Sarah Peters, Desarrollo Comunitario

PUBLICADO/PUBLICADO: 3 de marzo de 2022

ESTADO DE CALIFORNIA)
) ss.
PROVINCIA DE MENDOCINO)

Declaro, bajo pena de perjurio, que soy empleado de la Ciudad de Fort Bragg en el Departamento de Desarrollo Comunitario; y que hice que este aviso se publicara en el caso del Aviso del Ayuntamiento el 3 de marzo de 2022.

Sarah Peters

Sarah Peters, Desarrollo Comunitario

cc: Comisión de Planificación
Audiencia pública Notificarme