

# A Production Facility

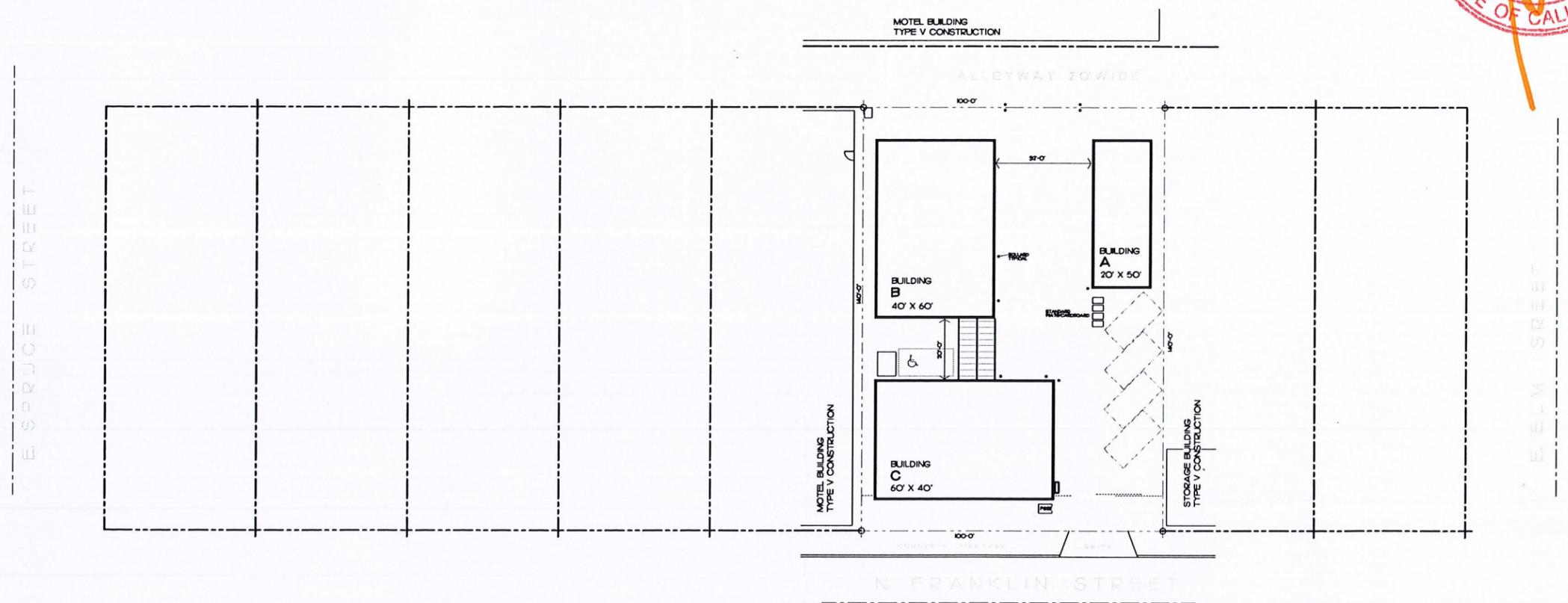
for

## Root One Botanicals

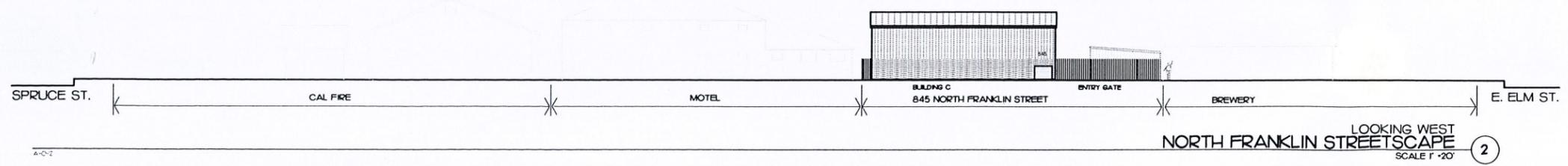
at

### 845 N. Franklin St. Ft. Bragg, CA

RECEIVED  
NOV 28 2017  
CITY OF FORT BRAGG  
COMMUNITY DEVELOPMENT DEPT



SEE SITE PLAN SHEET A1  
**PROJECT AREA SITE PLAN**  
SCALE 1" = 20' 1



LOOKING WEST  
**NORTH FRANKLIN STREETScape**  
SCALE 1" = 20' 2

PROJECT:  
**Production Facility**  
845 N. Franklin St.  
Ft. Bragg, CA

OWNER:  
**Root One Botanicals**  
Ft. Bragg, CA  
Contact: Jon McColley  
707-357-1054  
JonM@RootOneBotanicals.com

COMPLIANCE CONSULTANT:  
**Nutraceutical Facility Solutions, LLC**  
Contact: Sarah Rodebaugh  
707-292-6958  
Sarah@NutraFS.com

SHEET TITLE:  
**Title Site Plan Streetscape**

REVISION: 22 NOVEMBER 2017  
DATE: 17 OCTOBER 2017

DRAWN: J.R.J.  
SHEET NO.

# A.0

## DRAWING LIST

ARCHITECTURAL  
 A.0 COVER SHEET  
 A.1 THIS SHEET  
 A.2 BUILDING C FLOOR PLAN  
 A.3 BUILDING B FLOOR PLAN  
 A.4 PROJECT CROSSSECTIONS  
 A.5 EXTERIOR ELEVATIONS

## COMPLIANCE CONSULTANT

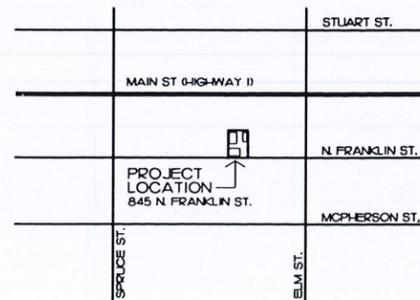
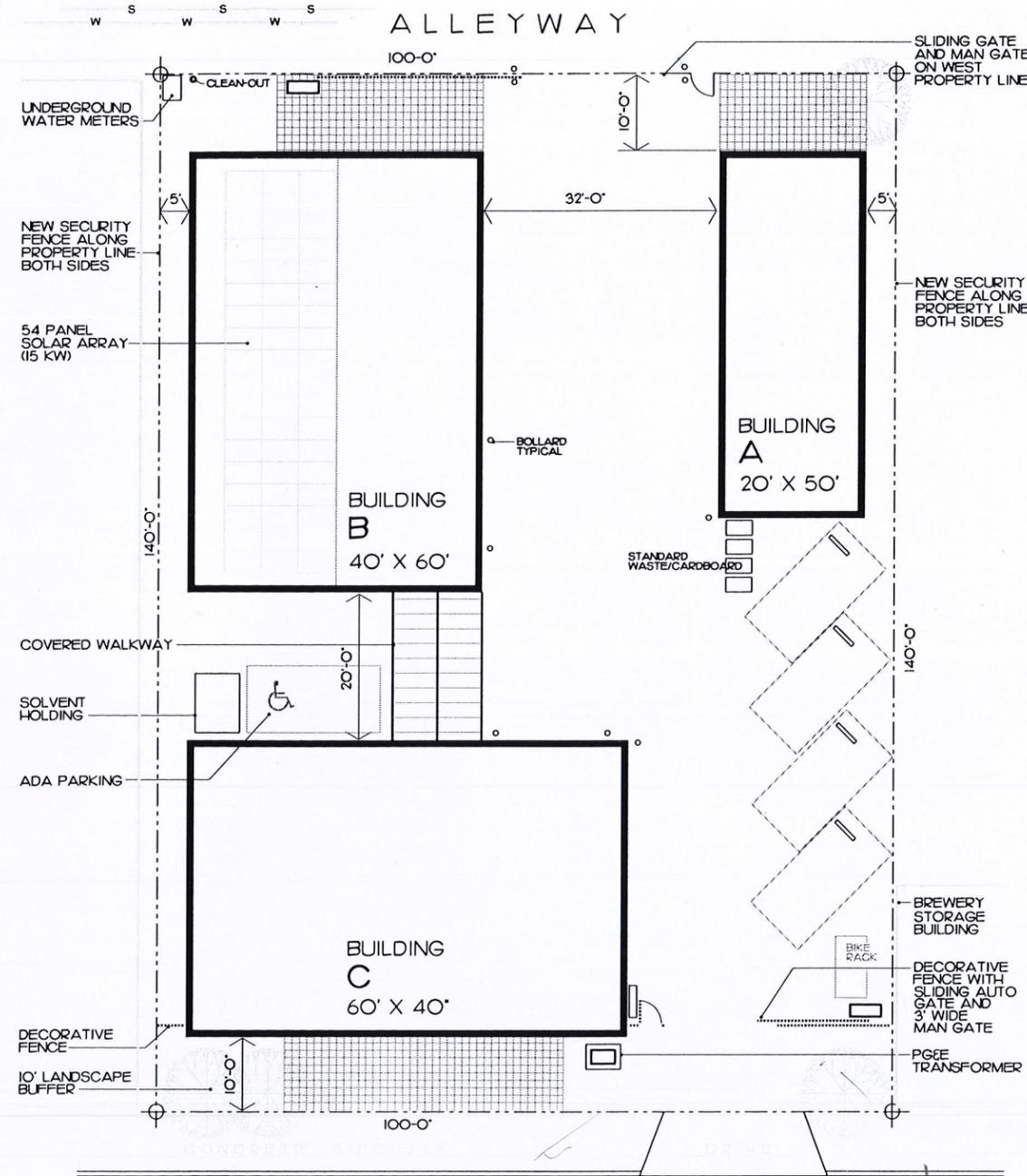
L.0 COVER SHEET  
 L.1 EQUIPMENT PLAN AND SCHEDULE  
 L.2 PROCESSING FLOOR PLAN  
 L.3 WAREHOUSE FLOOR PLAN

## CODE DATA

- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE FOLLOWING CODES AND REGULATIONS AS APPLICABLE:  
 2016 CALIFORNIA BUILDING CODE - 2009 IBC & 2010 CALIFORNIA AMENDMENTS  
 2016 CALIFORNIA ELECTRICAL CODE 2008 NEC & 2010 CALIFORNIA AMENDMENTS  
 2016 CALIFORNIA MECHANICAL CODE 2009 UMC & 2010 CALIFORNIA AMENDMENTS  
 2016 CALIFORNIA PLUMBING CODE - 2009 UMC & 2010 CALIFORNIA AMENDMENTS  
 2016 CALIFORNIA FIRE CODE - 2009 IFC & 2010 CALIFORNIA AMENDMENTS  
 2016 CALIFORNIA EXISTING BUILDING CODE  
 2016 CALIFORNIA ADMINISTRATIVE CODE  
 2016 CALIFORNIA GREEN BUILDING STANDARDS  
 2016 CALIFORNIA REFERENCE STANDARDS  
 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES - ADAAG
- IT IS INTENDED THAT THE ABOVE CODES AND REGULATIONS REFER TO THE LATEST EDITION OR REVISION IN EFFECT ON THE DATE OF THE CONTRACT. NOTHING ON THE DRAWINGS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO THE ABOVE LISTED CODES AND REGULATIONS, OR OTHER LOCAL, STATE OR FEDERAL CODES OR REGULATIONS WHICH MAY BE APPLICABLE.

## GENERAL NOTES

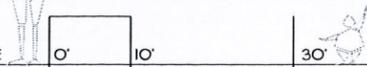
- THE CONTRACTOR MAY BEGIN WORK ONLY AFTER RECEIVING THE OWNER'S WRITTEN NOTICE TO PROCEED.
- CONTRACTOR SHALL VISIT THE SITE TO REVIEW THE SCOPE OF WORK AND DEMOLITION. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND. VERIFY DIMENSIONS OF ALL OWNER FURNISHED ITEMS TO INSURE PROPER COORDINATION WITH CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- THE CONSTRUCTION SCHEDULE SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR IS TO COORDINATE ALL WORK OF ALL TRADES AND COORDINATE WORKING TIME AND METHODS WITH THE OWNER'S REPRESENTATIVE TO INSURE THE MINIMUM DISTURBANCE TO OCCUPANTS.
- ALL UTILITIES REQUIRED FOR THE OPERATION OF ALL EXISTING FACILITIES MUST BE MAINTAINED IN SERVICE AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE NON-COMBUSTIBLE BARRIERS AND DUST COVERS AS REQUIRED TO PROTECT ADJACENT SPACES FROM CONSTRUCTION. BROOM CLEAN ALL AREAS EACH DAY. KEEP DIRT AND DUST TO A MINIMUM. BARRICADES SHALL PERMIT CONTINUED ACCESS TO ALL OTHER OCCUPIED AREAS THROUGHOUT CONSTRUCTION.
- ALL REMOVED ITEMS DEEMED BY THE OWNER TO HAVE VALUE SHALL BE DELIVERED TO A PLACE OF STORAGE AT THE SITE AS DIRECTED. ALL OTHER ITEMS MUST BE DISPOSED OF OFF SITE IN A LEGAL MANNER.
- CUTTING AND DEMOLITION SHALL BE DONE BY METHODS WHICH WILL NOT JEOPARDIZE THE EXISTING CONDITIONS, WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED, OR REMODELED, PATCH WITH MATERIALS TO MATCH IN KIND, QUALITY, AND PERFORMANCE.
- WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISTURBANCE TO THE PUBLIC AND TO THE OCCUPANTS OF THE BUILDING.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR SAFETY AND SECURITY OF THE CONSTRUCTION SITE, IN ACCORDANCE WITH APPLICABLE LAWS AND CODES. GUARD ALL HAZARDS IN ACCORDANCE WITH THE SAFETY PROVISIONS OF THE LATEST MANUAL OF ACCIDENT PREVENTION PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
- ALL SURFACES, MATERIAL, AND EQUIPMENT SHALL BE LEFT IN CLEAN CONDITION. ALL AREAS DIRTIED BY ANY PART OF THE CONSTRUCTION WORK ARE TO BE CLEANED IN A TIMELY FASHION.
- IF ANY PART OF THE CONTRACTOR'S WORK DEPENDS UPON THE WORK OF A SEPARATE CONTRACTOR, THIS CONTRACTOR SHALL INSPECT SUCH WORK AND PROMPTLY REPORT IN WRITING TO THE ARCHITECT ANY DEFECTS IN SUCH OTHER WORK THAT RENDER IT UNSUITABLE TO RECEIVE THE WORK OF THIS CONTRACTOR. FAILURE OF THIS CONTRACTOR TO SO INSPECT AND REPORT SHALL CONSTITUTE AN ACCEPTANCE OF THE OTHER CONTRACTOR'S WORK, EXCEPT AS TO DEFECTS WHICH MAY DEVELOP IN OTHER CONTRACTOR'S WORK AFTER EXECUTION OF THIS CONTRACTOR'S WORK.
- CONTRACTOR IS TO PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT NOTED, CALLED OUT OR LISTED ON THE DRAWINGS UNLESS SUCH ITEMS ARE INDICATED AS EXISTING OR PROVIDED BY OWNER.
- CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL OF EACH DOOR INSTALLATION.



LOCATION MAP  
NOT TO SCALE



GRAPHIC SCALE



PRELIMINARY SITE PLAN  
SCALE 1" = 10'



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 707.937.3487



PROJ. #01:  
**Production Facility**  
 845 N. Franklin St.  
 Ft. Bragg, CA

OWNER:  
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 Ft. Bragg, CA  
 Contact: Jon McColley  
 707-557-1054  
 JonM@RootOneBotanicals.com

COMPLIANCE CONSULTANT:  
**Nutraceutical Facility Solutions, LLC**  
 Contact: Sarah Rodebaugh  
 707-292-6958  
 Sarah@nutraFS.com

SHEET TITLE:  
**Project Information  
 Site Plan  
 Location Map**

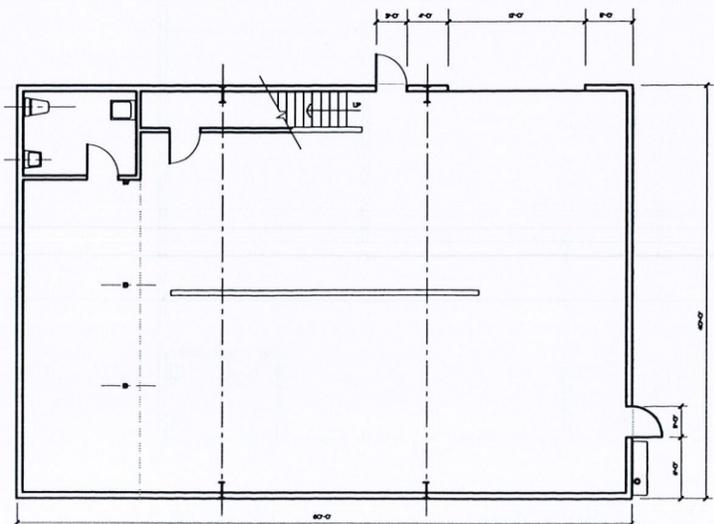
REVISIONS: 22 NOVEMBER 2017  
 DATE: 17 OCTOBER 2017

DESIGNER: J.R.J.

SHEET NO.:

**A.1**

17-12 plotted: 11.22.2017



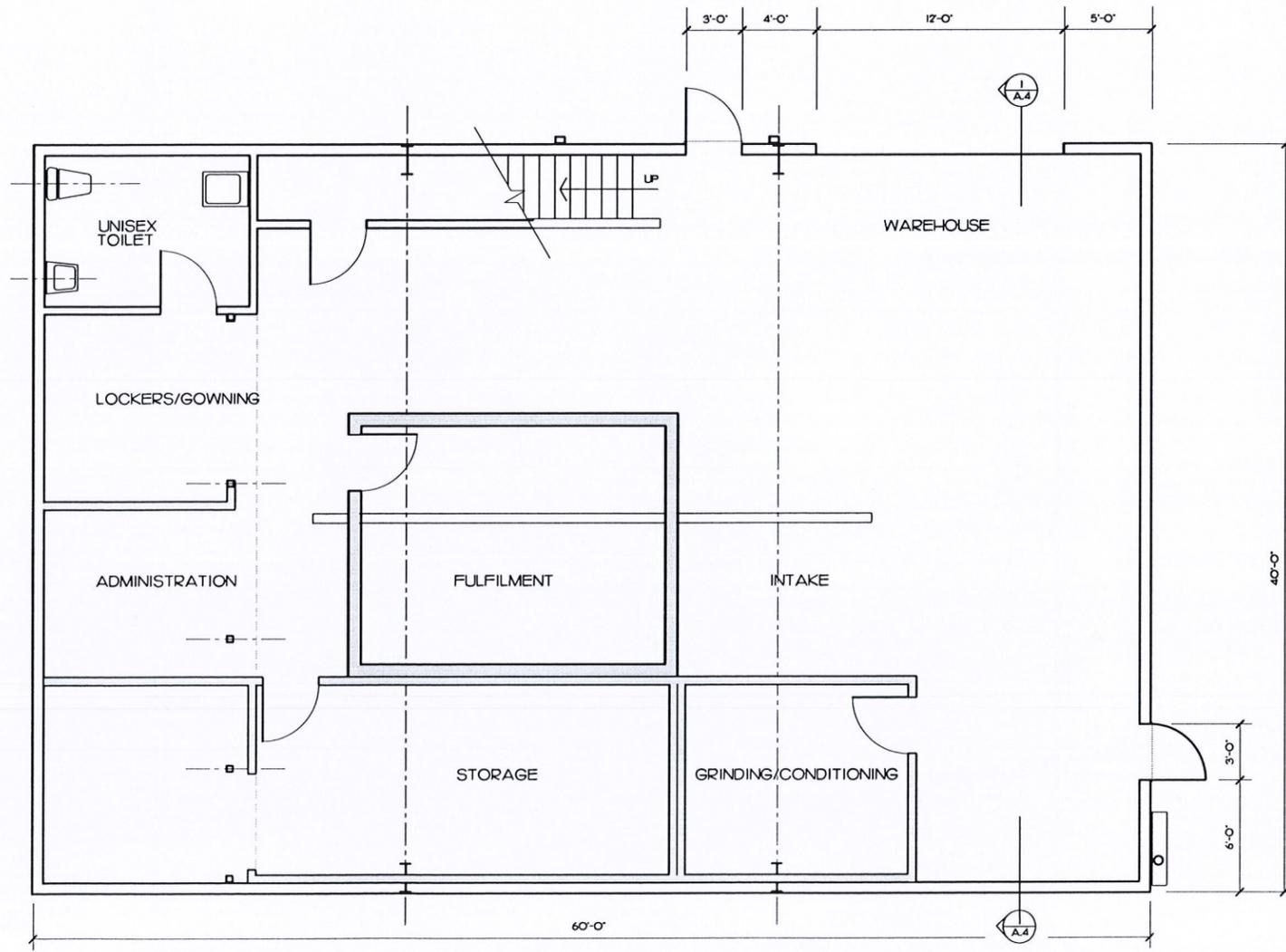
BUILDING C - EXISTING FLOOR PLAN

SCALE: 1" = 96'



**WALL KEY**

-  NEW WALL
-  EXISTING WALL
-  EXISTING WALL TO BE REMOVED



BUILDING C - WAREHOUSE AND ADMINISTRATION - REVISED FLOOR PLAN

SCALE: 1" = 48'



**jrja**

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SHEET TITLE:

**Building C Floor Plans**

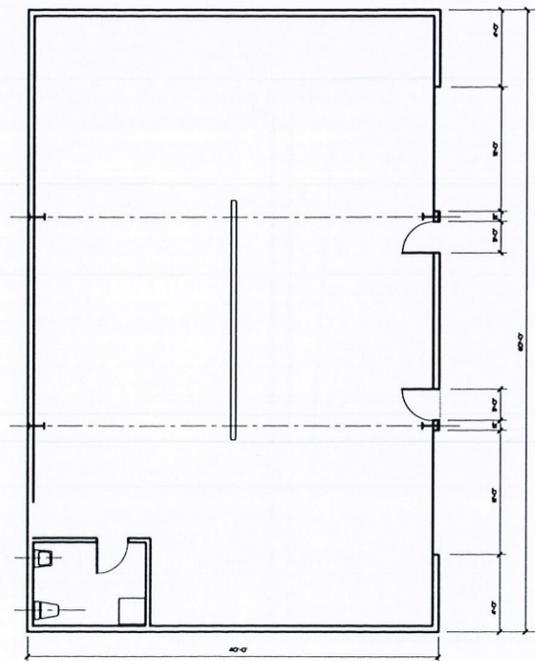
REVISIONS: 22 NOVEMBER 2017  
DATE: 17 OCTOBER 2017

DRAWN: JRJ

SHEET NO:

**A.2**

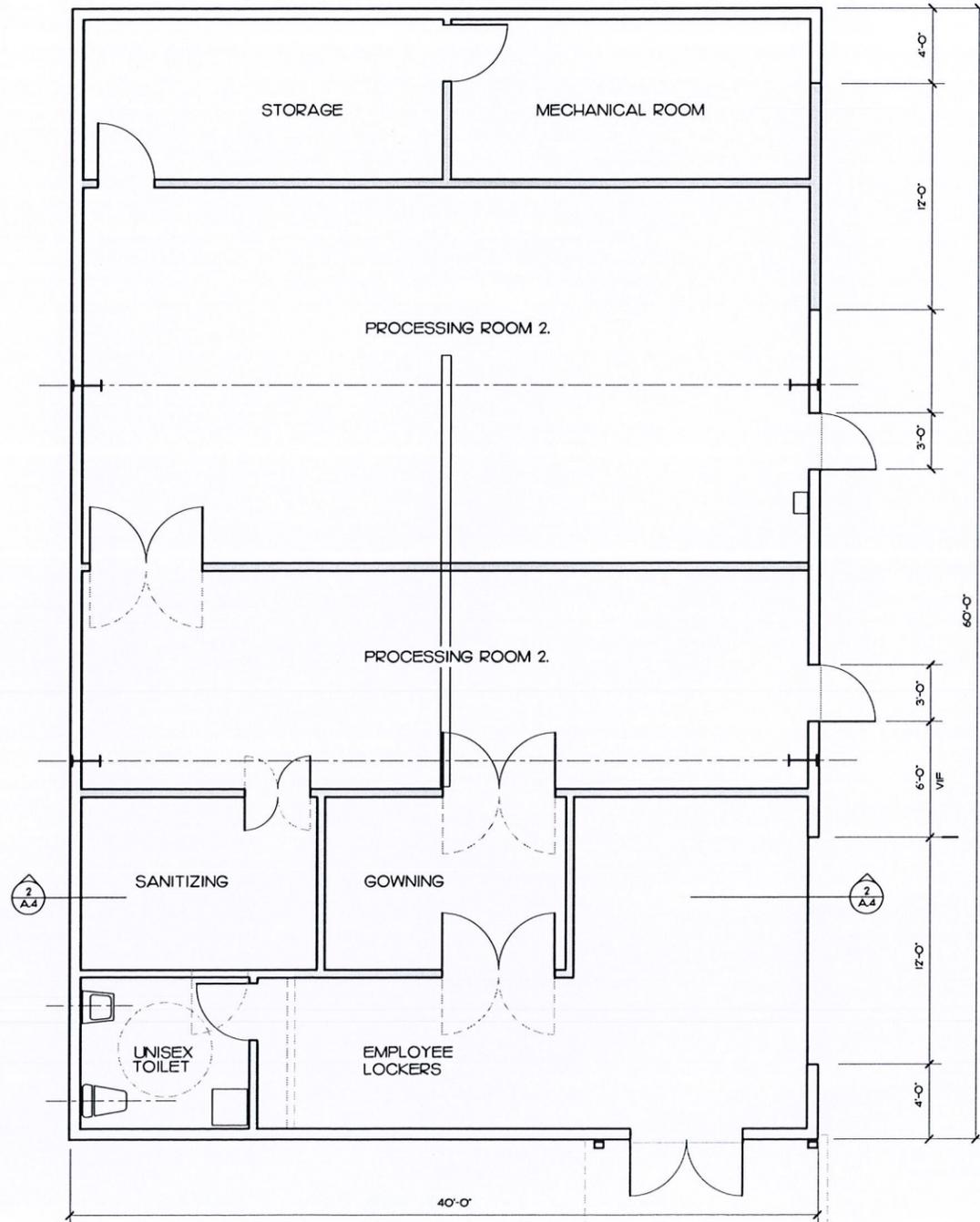
1712  
plotted: 11.22.2017



**BUILDING B - EXISTING FIRST FLOOR PLAN**  
SCALE: 1" = 96" (2)

**WALL KEY**

- NEW WALL
- EXISTING WALL
- EXISTING WALL TO BE REMOVED



**BUILDING B - PROCESSING - REVISED FLOOR PLAN**  
SCALE: 1" = 48" (1)



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**Production Facility**  
845 N. Franklin St.  
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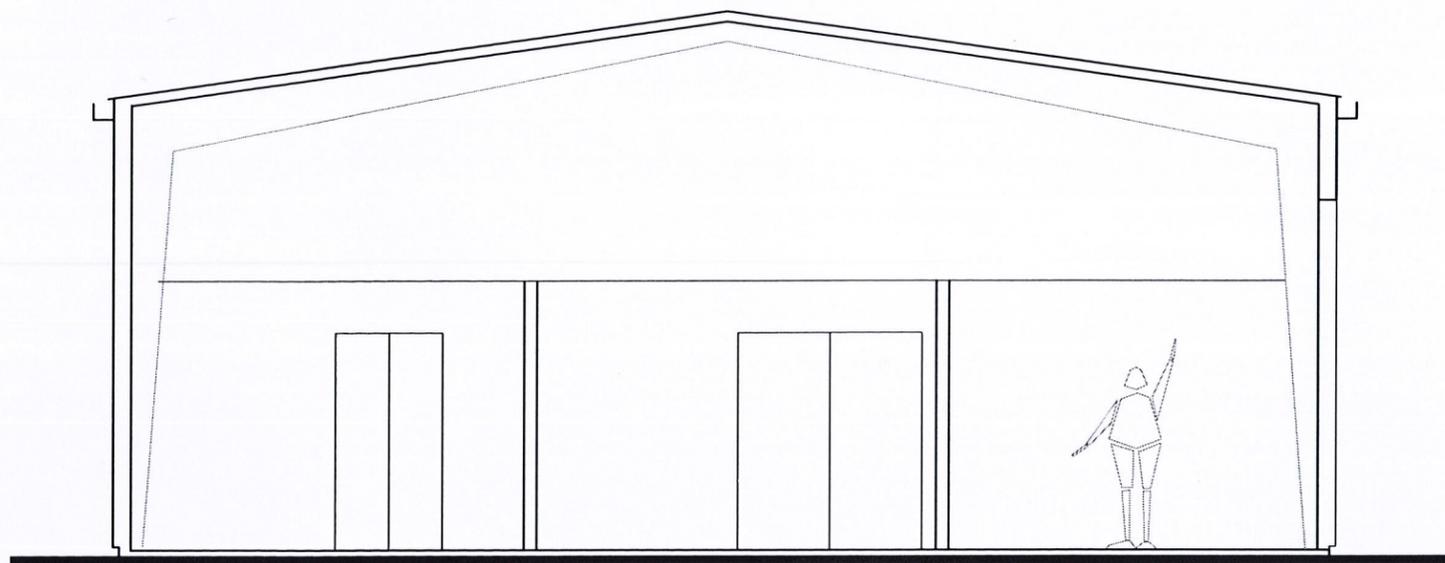
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SHEET TITLE:  
**Building B Floor Plans**

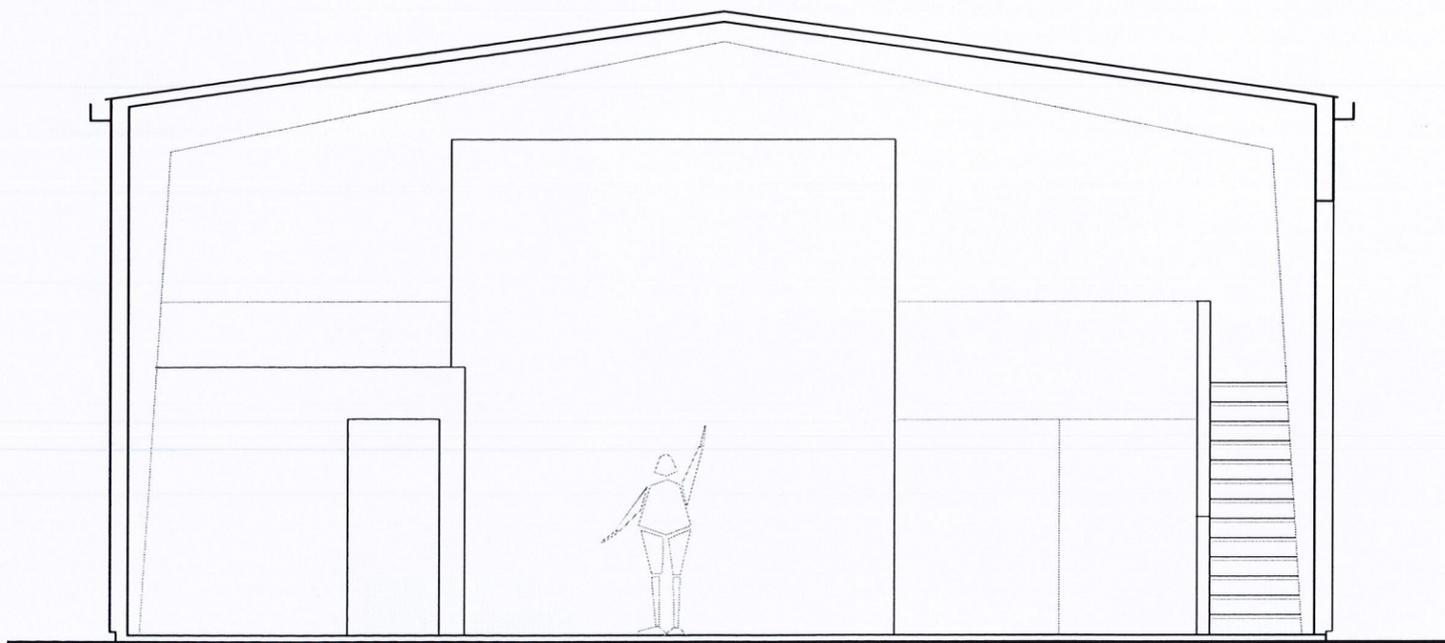
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DRAWN: JRJ  
SHEET 1 OF 2

**A.3**



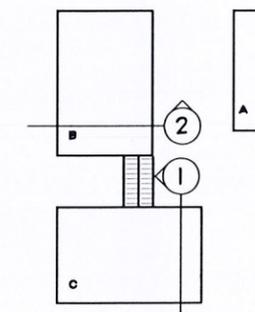
CROSSECTION THRU BUILDING B - LOOKING WEST (2)  
SCALE: 1" = 32'

A-4-2



CROSSECTION THRU BUILDING C - LOOKING SOUTH (1)  
SCALE: 1" = 32'

A-4-1



CROSSECTION KEY (3) NOT TO SCALE

**jrja**

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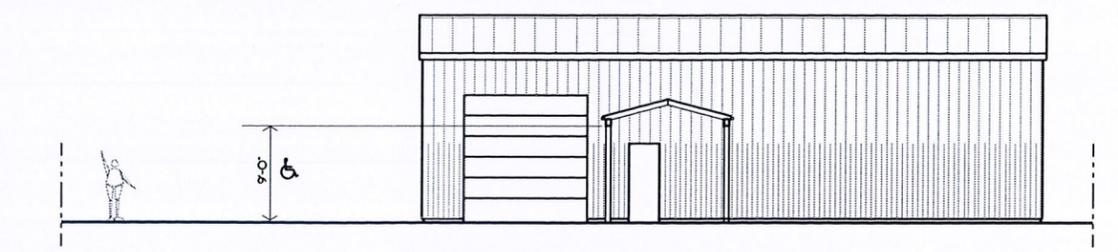
SHEET TITLE:  
**Building B Crosssection**  
**Building C Crosssection**

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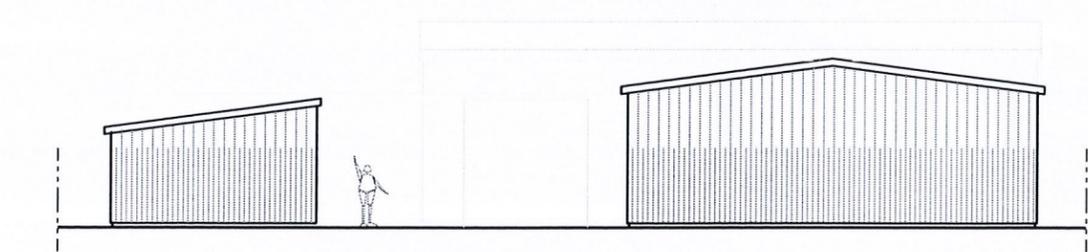
DRAWN: JRJ

SHEET NO:

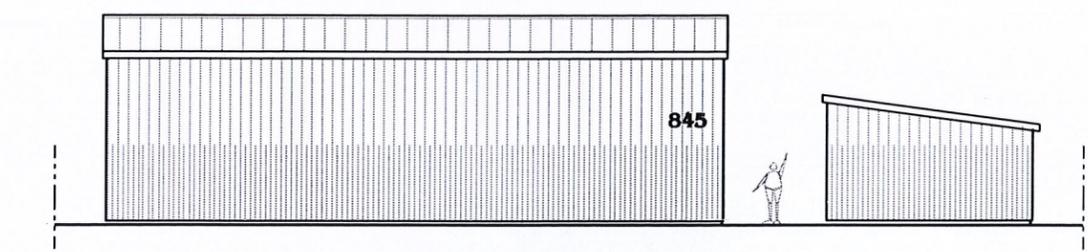
**A.4**



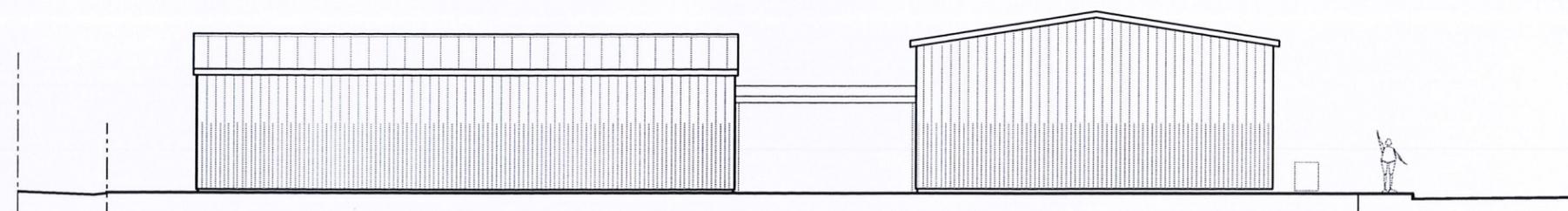
EXTERIOR ELEVATION - BUILDINGS C - LOOKING EAST (5)  
 SCALE: 1" = 48'



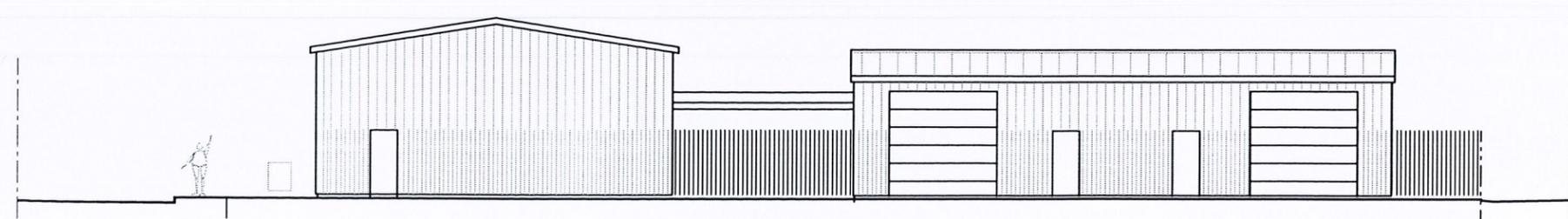
EXTERIOR ELEVATION - BUILDINGS A AND C - LOOKING EAST (3)  
 SCALE: 1" = 48'



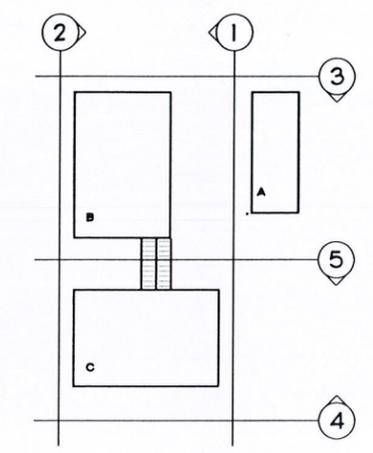
EXTERIOR ELEVATION - BUILDINGS C AND A - LOOKING WEST (4)  
 SCALE: 1" = 48'



EXTERIOR ELEVATION - BUILDINGS B AND C - LOOKING NORTH (2)  
 SCALE: 1" = 48'



EXTERIOR ELEVATION - BUILDINGS C AND B - LOOKING SOUTH (1)  
 SCALE: 1" = 48'



ELEVATION KEY (6)  
 NOT TO SCALE

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SHEET TITLE:  
**Exterior Elevations**

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 DRAWN: JRJ  
 SHEET NO: