



# City of Fort Bragg

416 N Franklin Street  
Fort Bragg, CA 95437  
Phone: (707) 961-2823  
Fax: (707) 961-2802

## Meeting Agenda Planning Commission

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Wednesday, March 16, 2022

6:00 PM

Town Hall, 363 N.Main Street, and via Video  
Conference

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### Special Meeting

#### MEETING CALLED TO ORDER

#### PLEDGE OF ALLEGIANCE

#### ROLL CALL

#### ZOOM WEBINAR INVITATION

*You are invited to a Zoom webinar.*

*When: Mar 16, 2022 06:00 PM Pacific Time (US and Canada)*

*Topic: Planning Commission Meeting*

*Please click the link below to join the webinar:*

*<https://us06web.zoom.us/j/82292366798>*

*Or Telephone: US: +1 346 248 7799 or +1 720 707 2699 (\*6 mute/unmute; \*9 raise hand)*

*Webinar ID: 822 9236 6798*

*TO SPEAK DURING PUBLIC COMMENT PORTIONS OF THE AGENDA VIA ZOOM, PLEASE JOIN THE MEETING AND USE THE RAISE HAND FEATURE WHEN THE CHAIR OR ACTING CHAIR CALLS FOR PUBLIC COMMENT ON THE ITEM YOU WISH TO ADDRESS.*

### **1. PUBLIC COMMENTS ON: (1) NON-AGENDA & (2) CONSENT CALENDAR**

#### **ITEMS**

*MANNER OF ADDRESSING THE PLANNING COMMISSION: All remarks and questions shall be addressed to the Planning Commission; no discussion or action will be taken pursuant to the Brown Act. No person shall speak without being recognized by the Chair or Acting Chair. Public comments are restricted to three (3) minutes per speaker.*

*TIME ALLOTMENT FOR PUBLIC COMMENT ON NON-AGENDA ITEMS: Thirty (30) minutes shall be allotted to receiving public comments. If necessary, the Chair or Acting Chair may allot an additional 30 minutes to public comments after Conduct of Business to allow those who have not yet spoken to do so. Any citizen, after being recognized by the Chair or Acting Chair, may speak on any topic that may be a proper subject for discussion before the Planning Commission for such period of time as the Chair or Acting Chair may determine is appropriate under the circumstances of the particular meeting, including number of persons wishing to speak or the complexity of a particular topic. Time limitations shall be set without regard to a speaker's point of view or the content of the speech, as long as the speaker's comments are not disruptive of the meeting.*

*BROWN ACT REQUIREMENTS: The Brown Act does not allow action or discussion on items not on the agenda (subject to narrow exceptions). This will limit the Commissioners' response to questions and requests made during this comment period.*

*WRITTEN PUBLIC COMMENTS: To submit written public comments to the Planning Commissioners, email*

*CDD@fortbragg.com. Any written public comments received after agenda publication will be forwarded to the Commissioner as soon as possible after receipt and will be available for inspection at City Hall, 416 N. Franklin Street, Fort Bragg, California. All comments will become a permanent part of the agenda packet on the day after the meeting or as soon thereafter as possible, except those written comments that are in an unrecognized file type or too large to be uploaded to the City's agenda software application.*

## **2. STAFF COMMENTS**

## **3. MATTERS FROM COMMISSIONERS**

## **4. CONSENT CALENDAR**

*All items under the Consent Calendar will be acted upon in one motion unless a Commissioner requests that an individual item be taken up under Conduct of Business.*

- 4A. [22-125](#) Adopt Resolution Amending Bylaws for the Fort Bragg Planning Commission

**Attachments:** [PC Resolution PCXX-2022 Planning Commission Bylaws](#)

## **5. DISCLOSURE OF EX PARTE COMMUNICATIONS ON AGENDA ITEMS**

## **6. PUBLIC HEARINGS**

- 6A. [22-099](#) Conduct Public Hearing, Receive Report, and Make Recommendations to Staff Regarding Proposed Citywide Design Guidelines Update

**Attachments:** [03162022 Draft Guidelines Report](#)

[Attachment 1. - Draft 2022 Guidelines](#)

[Attachment 2 - Draft 2019 Guidelines](#)

[Attachment 3 - Revisions, General Guidelines](#)

[Attachment 4 - Revisions, Specific Land Uses](#)

[Attachment 5 - Revisions, Mixed Use Guidelines](#)

[Attachment 6 - Revisions, Sign Guidelines](#)

## **7. CONDUCT OF BUSINESS**

## **ADJOURNMENT**

*The adjournment time for all Planning Commission meetings is no later than 9:00 p.m. If the Commission is still in session at 9:00 p.m., the Commission may continue the meeting upon majority vote.*





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## Text File

File Number: 22-125

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**Agenda Date:** 3/16/2022

**Version:** 1

**Status:** Business

**In Control:** Planning Commission

**File Type:** Planning Resolution

**Agenda Number:** 4A.

Adopt Resolution Amending Bylaws for the Fort Bragg Planning Commission

**RESOLUTION NO. PC \_\_\_\_-2022**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FORT BRAGG AMENDING BYLAWS FOR THE FORT BRAGG PLANNING COMMISSION**

**WHEREAS**, Fort Bragg Municipal Code Chapter 2.20 — PLANNING COMMISSION, provides in part that the Planning Commission shall have the power, by resolution, to adopt rules of procedure governing its meetings, its operation, its conduct of public hearings and the performance of its duties; and

**WHEREAS**, on February 23, 2022 the Planning Commission held a meeting to consider whether or not the existing bylaws are consistent with current practices and the Inland General Plan and the Coastal General Plan; and

**WHEREAS**, on March 9, 2022 the Planning Commission requested modification to include the procedure by which Planning Commissioners are seated, this information has been incorporated into Section III. Operations (A) and (B); and

**WHEREAS**, the adoption of bylaws is exempt from compliance with CEQA; and

**WHEREAS**, based on all the evidence presented, the Planning Commission finds that the attached Fort Bragg Planning Commission Bylaws (2022):

- 1. Are consistent with the goals and policies of the City of Fort Bragg Inland General Plan and the Fort Bragg Coastal General Plan; and
- 2. Are consistent with current practice of the Planning Commission.

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Fort Bragg does hereby amend its rules pursuant to Section 2.20.100 that certain document entitled Fort Bragg Planning Commission Bylaws (2022) as set forth more particularly in Exhibit "A" attached hereto and made a part thereof.

**The above and foregoing Resolution was introduced by Planning Commissioner Logan, seconded by Planning Commissioner Andreis, and passed and adopted at a regular meeting of the Planning Commission of the City of Fort Bragg held on the 16<sup>th</sup> day of March 2022, by the following vote:**

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:
- RECUSED:

\_\_\_\_\_  
Jeremy Logan, Chair

ATTEST:

\_\_\_\_\_  
Sarah Peters, Administrative Assistant

Exhibit A  
FORT BRAGG PLANNING COMMISSION  
BYLAWS  
03/16/2022

**I. PURPOSE**

The purpose of the bylaws of the Fort Bragg Planning Commission is to adopt its rules of procedure governing its meetings, its operation, its conduct of public hearings and the performance of its duties. (Ord. 740, §1, 1992) (Fort Bragg Municipal Code §2.20.090 and 2.20.100)

**II. MEETINGS**

A. The Commission shall hold its regular meetings on the second and fourth Wednesday of each month at 6:00 p.m. At the first regularly held meeting of the year, the Commission may adopt a specific meeting schedule that provides alternate meeting dates to avoid conflict with recognized City holidays. There will be no fourth Wednesday meetings in November and December. The meeting schedule shall be posted for public review at City Hall and on the City's website. (Ord. 740, §1, 1992) (Fort Bragg Municipal Code §2.20.060, 2.20.090 and 2.20.100)

B. The meeting place of the Planning Commission for the transaction of business is fixed and established at the Town Hall, situated on the southwest corner of North Main and Laurel Streets, and commonly known as 363 North Main Street, Fort Bragg, California or virtually if resolved by the body in accordance with AB361. The meetings will be conducted via webinar and televised on local TV as well as livestreamed on the City's website. (Ord. 274, §2, 1947; Ord. 740, §1, 1992) (Fort Bragg Municipal Code §2.04.020)

C. A special meeting of the Planning Commission may be called at any time by:

1. The Chair; or,
2. In the Chair's absence, by the Vice-Chair; or,
3. By a majority of the members of the Planning Commission; or
4. The City Manager, Community Development Director, or City Staff

Unless a special meeting is called by a majority vote of the members at a regular or special meeting, a written notice must be delivered, to each member of the Planning Commission at least twenty-four hours prior to the special meeting. The notice must specify the time and place of the special meeting and the business to be considered. The notice must be posted at City Hall in the kiosk and on the City's website. The only business that may be considered at a special meeting is the business shown on the notice. (Ord. 499 §2, 1978; Ord. 740 §1, 1992) (Fort Bragg Municipal Code §2.04.190)

D. All regular and special meetings shall be open to the public. (Ord. 623, 1984; Ord. 602, 1983; Ord. 83, §2, 1905) (Fort Bragg Municipal Code §2.04.010)

E. The order of business of the Planning Commission shall be as follows:

1. Call to Order
2. Pledge of Allegiance

3. Roll Call
4. Public Comments on (1) Non-Agenda Items & (2) Consent Calendar Items
5. Matters from Staff
6. Matters from Commissioners
7. Consent Calendar
8. Disclosure of Ex Parte Communications on Agenda Items
9. Public Hearings
10. Conduct of Business
11. Adjournment

(Ord. 738 §1, 1992; Ord. 674 §1, 1987; Ord. 84 §4, 1905) (Fort Bragg Municipal Code §2.04.060)

- F. The adjournment time for all Commission meetings shall be 9:00 p.m. If the Commission is still in session at 9:00 p.m., the Commission may continue the meeting upon majority vote. Further, if it appears that the meeting will adjourn, the Planning Commission shall vote upon which items are to be continued to a future meeting.

(Ord. 740§1, 1992) (Fort Bragg Municipal Code §2.20.100)

### **III. OPERATIONS**

- A. There shall be five (5) members of the Planning Commission appointed by the City Council. Each member of the City Council may submit the name of a resident of the City as a nominee for a seat on the Planning Commission. The City Council as a whole shall vote to appoint the nominee, the appointment requiring the affirmative vote of at least three (3) City Councilmembers. (Ord. 805, § 1A, passed -- 1997) (Fort Bragg Municipal Code §2.20.020)
- B. Planning Commission members shall be seated for a potential term coinciding with that of the nominating City Councilmember, provided, however, that the commissioners serve at the will of the City Council. The City Council may remove any Planning Commissioner at any time through the affirmative vote of at least four (4) of the City Councilmembers. (Ord. 805, § 1A, passed -- 1997) (Fort Bragg Municipal Code §2.20.020)
- C. A majority of the Planning Commission constitutes a quorum for the transaction of business. (Government Code §36810)
- D. At the first regularly held meeting of the year, the Planning Commission shall select one of its members as Chair and one member as Vice-Chair of the Commission. In case of the absence of the Chair, the Vice-Chair shall act as the Chair. If the Chair and Vice-Chair leave the Commission, and there are no officers, the Commission shall elect a Chair and Vice-Chair at the next Commission meeting. (Ord. 740 §1, 1992) (Fort Bragg Municipal Code §2.20.050)
- E. At the first regularly held meeting of the year, the Commission may discuss and adopt a work schedule for the year as a guide for work on the General Plan of the City. (Ord. 740 §1, 1992) (Fort Bragg Municipal Code §2.20.070)
- F. The Community Development Director shall provide a quarterly update to the Commission of all major current planning projects and all long range planning activities.

- G. After the close of the calendar year, the Commission may discuss and prepare a summary report of its work for the calendar year. The report may be submitted to the City Council and may be used for reporting to County, State or Federal agencies. (Ord. 740§1, 1992) (Fort Bragg Municipal Code §2.20.010)
- H. To allow for efficient consideration of planning and zoning matters, Ad Hoc committees may be appointed to consider specific matters and report to the Commission. Ad Hoc committees will be appointed by the Chair, after consultation with the Commission as to the purpose and composition of the committee. Not more than two commissioners may be appointed to an Ad Hoc committee. (Ord. 500 §3, 1978; Ord. 740 §1, 1992) (Fort Bragg Municipal Code §2.04.075)
1. At the first meeting of each Ad Hoc committee, one member shall be elected as Chair. The Chair shall be responsible to direct the committee and to report to the Commission when the committee believes it has completed its task. The Chair shall ensure that proper notices are posted at City Hall for meetings of the Ad Hoc committee. The Chair shall account for member participation and attendance at meetings or other work related to the task, including records of action or progress. The Chair may report to the Commission periodically, about progress and/or about member attendance. Each member of an Ad Hoc committee is responsible to attend meetings of the committee. Committee meeting dates shall be set by a consensus of the committee.
  2. If one or more members of an Ad Hoc committee is/are absent from one (1) meeting that has been set by consensus, the Chair shall attempt to contact the member and determine his/her interest in serving on the committee. The Chair shall report to the Commission, requesting a replacement member, if the member is not willing to continue or if failure to attend meetings continues.
  3. Final Ad Hoc committee recommendations shall be presented to the Commission by the Chair in writing. When the committee report is received, the Commission may receive majority and minority opinions from committee members.
- I. The Chair shall decide all questions of order.  
(Ord. 674 §1, 1987; Ord. 84 §2, 1905) (Fort Bragg Municipal Code §2.04.040)
- J. The Chair may make or second any motion before the Planning Commission and present and discuss any matter as a member of the Planning Commission.  
(Ord. 498 §6, 1978) (Fort Bragg Municipal Code §2.04.034)
- K. In the event of a tie vote, the motion shall fail.  
(Ord. 552 § §2, 3, 1981) (Fort Bragg Municipal Code §2.04.038)
- L. A motion to reconsider shall not be in order except on the same day or at the next session of the Commission after which the action proposed to be reconsidered took place. Such motion must be made by a member who voted with the majority on the question, except that a member who was necessarily absent may, at the next meeting at which he or she is present, have a right to move a reconsideration of the same. A motion to reconsider shall require a majority vote. Whenever a motion to reconsider fails, further reconsideration shall not be granted.



- M. No member of the Planning Commission shall be permitted to interrupt another during debate or discussion of any subject. (Ord. 674 §1, 1987; Ord. 84 §10, 1905) (Fort Bragg Municipal Code §2.04.120)
- N. 1. Every member of the Planning Commission present shall vote on every question or matter when put, except when disqualified from voting by operation of law, or unless the Planning Commission for special reasons entered in the minutes, excuses the member from voting on a particular matter then under consideration. Should a member abstain from voting, they shall state the reason for abstaining, and said reason shall be recorded in the minutes of said meeting. (Ord. 738§5, 1992; Ord. 84§11, 1905) (Fort Bragg Municipal Code §2.04.130)  
 2. Any member of the Planning Commission who votes in the minority, on any question or matter, may file a minority opinion. The minority opinion may be verbal at the time of the vote, or written and submitted for inclusion into the minutes of the question or matter. A minority opinion shall be shown as the personal comments of an individual member and not subject to change by a majority of the Commission. A written minority opinion must be submitted to the Planning Director between the vote on the question or matter and the beginning of the next regular meeting when the minutes on the question or matter are considered.
- O. When the Commission revises staff recommendations on an application and the applicant is not present or represented, the Commission shall defer a decision until the applicant can be present or represented.
- P. Each member of the Planning Commission is responsible to attend Commission meetings. Section 2.20.080 of the Fort Bragg Municipal Code shall be enforced for each member.
- Q. If the Planning Director determines that a substantial question of interpretation on a planning matter needs the review of the Planning Commission, the Planning Director shall introduce the matter at the next regular meeting. The matter may apply to City ordinances or to a current project. The Planning Director shall provide a written report to the Planning Commission including the following:
  - 1. A statement of the substantial question for review.
  - 2. A reference to ordinances in the Municipal Code that apply to the substantial question.
  - 3. A reference to the portions of the General Plan that may apply.
  - 4. A reference to previous actions by the Commission or City Council that may apply.

After the Planning Commission has studied the substantial question, it shall adopt a finding to be used by the Planning Director.

#### **IV. PUBLIC HEARINGS**

On any matter before the Planning Commission that requires a public hearing, the following procedure shall be followed:

- A. The Chair will announce the item from the agenda;
- B. The Chair will open the public hearing, stating the time:

1. The Community Development Director and/or planner will present a staff summary report and answer questions of the Commissioners;
  2. If it is apparent that there is considerable public interest in the matter, the Chair may poll the audience for an indication of the number of persons who wish to address the Commission; and,
  3. The Chair may:
    - a) impose a three (3) minute time limit on each person who addresses the Commission;
    - b) request that testimony be combined through a spokesperson where possible; and,
    - c) limit each person who has addressed the Commission to a single opportunity to clarify their testimony.
- C. The applicant shall be given an opportunity to present the matter and answer questions from staff or Commissioners, unless they waive that right by letter in advance of the meeting;
- D. Members of the public and/or public agencies will be given an opportunity to present their comments;
- E. For meeting held in person speakers before the Planning Commission shall approach the public podium and give their comments. They may also provide their name, address, and whether they live or work in the City prior to addressing the Commission;
- F. For meetings held virtually via webinar comments can be made at any time prior to the meeting, in real-time while the item is being considered by the Planning Commission. All Comments or emails received before or during the meeting that have not been published with the agenda packet will be forwarded to the Commissioners as soon as possible after receipt and will be available for inspection at City Hall, 416 N. Franklin Street, Fort Bragg, California, during normal business hours. All comments will become a permanent part of the agenda packet on the day after the meeting or as soon thereafter as possible.
- G. Public comments are restricted to three minutes. Written comments on agenda matters and those exceeding three minutes will be included in the public record as part of the agenda packet the next business day after the meeting.
- H. Questions from the public or Commissioners should be directed through the Chair, unless the Chair decides to manage questions in a different manner;
- I. When all comments have been presented to the Commission, any of the following options may be selected:
  1. Continue the public hearing until a future date if there are issues raised during the hearing that need further review;
  2. Leave the public hearing open while the Commission discusses action proposed to be taken; and,
  3. Close the public hearing, stating the time and then the Commission can discuss action to be taken. (Ord. 740 §1, 1992) (Fort Bragg Municipal Code §2.20.100)



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## Text File

File Number: 22-099

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**Agenda Date:** 3/16/2022

**Version:** 1

**Status:** Public Hearing

**In Control:** Planning Commission

**File Type:** Planning Staff Report

**Agenda Number:** 6A.

Conduct Public Hearing, Receive Report, and Make Recommendations to Staff Regarding Proposed Citywide Design Guidelines Update



AGENCY:	Planning Commission
MEETING DATE:	March 16, 2022
DEPARTMENT:	Community Development
PRESENTED BY:	K. Locke & S. McCormick

## AGENDA ITEM SUMMARY

### **TITLE:**

**Conduct Public Hearing, Receive Report, and Make Recommendations to Staff Regarding Proposed Citywide Design Guidelines Update**

### **BACKGROUND**

The City of Fort Bragg's current Design Guidelines were initially adopted by the City Council in 2004. The Guidelines are an integral part of city planning in Fort Bragg and help retain and enhance community character and maintain property values. While effective on many levels, the existing Guidelines have become outdated and do not effectively address current trends and many proposed projects. In 2019, the Planning Commission and City Council considered revisions to the Citywide Design Guidelines as part of a comprehensive community planning process to rezone the former mill site (**Attachment 2 – 2019 Draft Guidelines**).

This planning effort did not result in a formal adoption of the draft 2019 Guidelines. In 2021 an ad hoc committee was appointed composed of two Councilmembers (Albin-Smith and Morsell-Haye) and two Planning Commissioners (Andreis and Rogers), to complete an update to the City's Design Guidelines. The Design Guideline Ad Hoc Committee met multiple times from February 2021 to February 2022 with the intent to refine and finalize the work completed in 2019, rather than to start "from scratch".

### **PROJECT DESCRIPTION**

*What are Design Guidelines?*

The Citywide Design Guidelines are a qualitative document independent of the General Plan, Inland Land Use and Development Code (ILUDC), and Coastal Land Use and Development Code (CLUDC). The goal of the Design Guidelines is to provide clear and useful recommendations and requirements for the design, construction, review, and approval of commercial, industrial, and multi-family residential development in Fort Bragg - a reference point that establishes design expectations and offers a way of achieving attractive and functional development.

As opposed to the ILUDC or CLUDC, the Design Guidelines are also intended to be interpreted with some flexibility as not all design criteria may be achievable/appropriate for each project. For example, in some circumstances, one guideline may be relaxed in order to accomplish another, more important guideline. The overall objective is to ensure that the intent and spirit of the Guidelines are followed and to attain the best possible design within reason.

AGENDA ITEM NO. \_\_\_\_\_

### *Relation to Other Documents*

Fort Bragg's Design Guidelines provide an important benchmark for evaluating new construction, additions, and remodels, and are the basis for making the findings necessary for many project approvals. Sections 18.71.050(F)(7) and 17.71.050(F)(7) of the Inland and Coastal Development Codes require a Design Review permit for most construction activities and further establish that such permit may not be issued unless the design complies and is consistent with the Design Guidelines. The Guidelines also implement General Plan policies related to Community Design.

## **REVISIONS FROM 2019 GUIDELINES**

**Design and Format.** The 2019 Design Guidelines primarily relied on tables to relate information. Rather than continuing to rely on this format, the 2021 document employs columns of text with intermittent images. One of the major changes allowing for this transition is the removal of size standards for specific guidelines. The 2019 Guidelines make a distinction between <5000SF and >5000SF buildings and the 2021 document does not. In removing this standard, the Ad-Hoc Team reassessed all of the standards to determine whether they should be mandatory or preferred. Changes to the original guidelines are provided in tracked changes as attachments (**Attachments 3, 4, and 5**).

**Guiding Principles.** Situations may arise that are not covered by the guidelines. As such, the latest revision includes four new guiding principles that project designers should also consider: 1) Strengthen Community Character; 2) Support Connectivity; 3) Public Enhancements; and 4) Water & Energy Efficiency. These guiding principles were drafted to reflect ideas from community engagement efforts, existing City Council approved documents, and the work of the Design Review Ad Hoc Committee.

**Geographic Corridors Rather than Zoning Districts.** The 2022 update differs from past updates by considering design within the context of where development is situated, rather than relying on the zoning designation. This proposed change refines how development impacts the characteristics of different geographic areas in order to achieve optimal design. For example, the characteristic of S. Franklin Street differs significantly from N. Main Street, although both are designated General Commercial Zoning. As such, these "Corridors" are proposed to have separate guidelines distinct to each location and their respective qualities.

**Signs.** Similar to the distinction between building square footage, the 2019 Guidelines separated signs based on those less than 25SF or greater than 25SF. The ad hoc team in the 2021 document decided to remove this distinction and reassess any guidelines in conflict. These changes, along with additional proposed guidelines are included in **Attachment 6**.

**Exceptional Design Exemption.** The proposed Design Guidelines now include a process by which a project applicant may request an exemption to certain design criteria. The intent is to allow for truly place-making design that the guidelines would prohibit. The approval of this exemption would be through Planning Commission or City Council based on the following findings:

- Approving the exemption will not create a safety hazard or impair the integrity and character of the neighborhood in which the property is located.
- Buildings and projects shall facilitate fundamentally new materials, methods, and tectonic articulations and/or forms of construction.
- The proposed project meets the purpose and guiding principles of the Design Guidelines.

**Removal of Repetitive Standards.** In evaluating the Design Guidelines, the ad hoc team noted redundant guidelines that overlapped with development standards of the ILUDC and CLUDC. As seen in the attachments, several redundant guidelines have been removed.

**DISCUSSION & NEXT STEPS**

As a result of the proposed changes, the ad hoc team and staff are seeking input from commissioners and the public. A draft of the proposed guidelines may be found on **Attachment 1**. Staff has prepared a presentation to facilitate discussion at the March 16, 2022 Planning Commission meeting.

At the conclusion of the study session, the following next steps would occur:

Action	Timeframe
City staff would make the requested revisions by the Commission and the public.	March 16-30
City staff return to Planning Commission for recommendation of adoption of Design Guidelines to City Council	March 30
City Council holds a public hearing considering adoption of the Design Guidelines	Mid to late April
Document becomes effective 30 days after adoption	Late May to early June

**ENVIRONMENTAL DETERMINATION:**

The proposed project is categorically exempt from environmental review in conformance with CEQA section 15061(b)(3). The proposed amendments will not allow for, or encourage any more development than is already anticipated under the City’s existing General Plan, or otherwise allow for or promote physical changes in the environment, and therefore, it can be seen with certainty that there is no possibility that the proposed amendments may have a significant impact on the environment.

**RECOMMENDED ACTION:**

That the Planning Commission review the draft Design Guidelines and provide feedback to the ad hoc team and staff.

**ATTACHMENTS:**

1. 2022 Draft Citywide Design Guidelines
2. 2019 Draft Guidelines
3. Revisions. General Guidelines
4. Revisions, Specific Land Uses
5. Revisions, Mixed Use Guidelines
6. Revisions, Sign Guidelines



# Fort Bragg

## Citywide Design Guidelines

*April 2022*



# Acknowledgements

## City Council

Bernie Norvell, Mayor  
Jessica Morsell-Haye, Vice Mayor  
Tess Albin-Smith,  
Marcia Rafanan  
Lindy Peters

## Ad-Hoc Team

Jessica Morsell-Haye, Vice Mayor  
Tess Albin-Smith, Council Member  
Jay Andreis, Vice Chair Planning Commission  
Nancy Rodgers, Chair Planning Commission

## Planning Commission

Jeremy Logan, Chair  
Jay Andreis, Vice Chair  
Stan Miklose  
Michelle Roberts  
Nancy Rodgers

## Project Staff

Sarah McCormick, Assistant City Manager  
Marie Jones, Community Development Director  
Kevin Locke, Assistant Planner



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## Chapter 1: Introduction

The City of Fort Bragg is a special place with a unique identity that its residents cherish. It is framed by natural scenery, including forests, the ocean, and bordered by two rivers. In town, the “built environment” which incorporates the residential and commercial architecture, is both unique in history and character. Many buildings and sites speak to the city’s logging roots and its role as an early commercial center in Mendocino County. The Fort Bragg built environment is described as low-key with Victorian roots. These are aspects that the community values and seeks to retain.

Over time, new construction is bound to alter the character of Fort Bragg, or be respectful of it. The challenge is to accommodate compatible development that builds from the design traditions of the community while promoting design excellence and creative new solutions. This publication sets forth design criteria with a goal to guide new development and property improvements to best meet the needs of the individual property owner while also enhancing the existing character that defines Fort Bragg.

### Purpose & Guiding Principles

The City of Fort Bragg’s Citywide Design Guidelines set expectations for site and building design in order to maintain and enhance the small-town, coastal, historic, and rural character of Fort Bragg. Property owners and professionals will use these Guidelines when planning improvements. City staff, boards, and commissions will use them in development review. The Design Review permit process mandates consistency with the Citywide Design Guidelines. These Guidelines will work in conjunction with other City regulations to ensure development throughout the City is functional and attractive.

Situations may arise that are not covered by the Guidelines, in which case; project designers should consider the following Guiding Principles which reflect ideas from the community, City Council, and the Design Review Ad-Hoc Committee.

#### *Guiding Principle 1: Community Character*

Project design should reflect and strengthen the distinct identity of Fort Bragg – a rural, historic small town on the Mendocino coast.

#### *Guiding Principle 2: Support Connectivity*

Project design should incorporate safe, functional and multimodal connections that are easy to navigate by walking, bicycling and public transit. When feasible, new streets should follow existing development pattern.

#### *Guiding Principle 3: Public Enhancements*

Project proposals should positively enhance the adjacent public realm by contributing to the collective good of community. This means building places, and not individual sites; making design consideration in the context of streets, sidewalks, public spaces, parks, and trails and looking at how the community interacts with these public spaces.

#### *Guiding Principle 4: Water & Power Sustainability*

Do more with less. Development should incorporate water and power efficient design strategies.

## How to Use the Design Guidelines

The Design Guidelines consist of five chapters. The document is organized through a hierarchical approach, meaning the guidelines build off each other. The “General Guidelines” in chapter two is the basis for all development. All commercial projects are required to comply with. Beyond the General Guidelines are the “Gateways & Corridors” which set specific standards for certain locations in the City. Finally, the “Guiding Principles” (listed above) are the overarching goals all projects should try to achieve.

Once an application for a project is submitted, the City of Fort Bragg will review the project for consistency with the Design Guidelines. Some guidelines may not apply to all projects due to a variety of reasons, such as land use, architectural design, or site-specific issues. Therefore, projects can generally meet the guidelines and still be consistent. This determination is at the discretion of the Community Development Department or the reviewing body (Planning Commission or City Council).

## Difference between Development Code & Guidelines

The Inland & Coastal Land Use & Development Code promotes the public health, safety, and general welfare of the community. The Development Code provides a variety of policies that implement the General Plan as well as base standards for physical development throughout the city. Similar to the Development Code, the Citywide Design Guidelines apply to all projects. However, the Development Code regulations dictate exactly what a property owner can and cannot do with a property, the Design Guidelines focus on how a project is constructed. For example, the City Development Code regulates how many parking spaces are required, while the Guidelines facilitate design objectives such as pedestrian mobility and landscaping.

## Geographic Approach

This document considers the location of development within the City, rather than zoning designations to inform design. The City of Fort Bragg is home to a variety of development contexts, each of which contribute to Fort Bragg’s unique character and small town charm. General Commercial Zoning along S. Franklin Street has an intimate, residential quality appropriate for multiuse development and mid-size retail – whereas, S. Main Street is characterized by large parking lots catering to vehicles, ideal for grocery stores and gas stations.

In order to address the intricacies of each context, five geographic areas are identified, which merit special design consideration, as shown on **Page 9**. Each area is distinguished in numerous ways, whether it be the site design, opportunities for new development, or dominant architectural features. The design features of each location serve as cues for new development.

## Central Business District

The Central Business District (CBD) represents the core of Fort Bragg's historic downtown – the civic, cultural, and commercial center of the community. It is a pedestrian-oriented area accommodating everything from government and professional offices, to retail, restaurants, tourism, and similar types of businesses at a dense scale; residential uses are allowed and encouraged on upper floors or located to the rear of commercial uses. The predominant architectural style reflects Victorian era of the 1860-1930's. Development is not required to recreate the actual historic architecture, but development should fit within the context of the historic look and contribute to the unique character of downtown. Key objectives for future development and remodels in this area include:

- Maximize transparent storefronts, especially along the ground floor.
- Orient buildings to face the street. Architecture should complement and respect the historic Central Business District vernacular.
- Keep the downtown a lively mixed use, 24hr core.



*Example of the downtown streetscape*



*Example of the downtown streetscape*

## Corridors

As mentioned previously, most commercial development in the City resides along Franklin Street and CA Route 1, referred to as Main Street. The Central Business District splits these streets to create four unique character areas identified as Main Street North, Main Street South, Franklin Street North, and Franklin Street South. Each character area has specific guidelines only applicable their respective locations.

### *Main Street North*

From the intersection of N Main Street and Pine Street to Pudding Creek lies the Main Street North corridor. Existing development varies in land uses and building types. The predominant type of building looks residential in nature, many serving as Bed & Breakfast Inns. Development generally sits adjacent to streetscape, with driveways and rear parking lots. Future development in the area should consider:

- Main Street North is lined with traditional Victorian and craftsman housing. The existing character of the area should be maintained and vernacular architecture is encouraged.
- Future development should maintain a pedestrian level scale.
- Emphasis on site design by incorporating street trees and other landscaping features that soften the structures and hardscaping/



*Example of a North Main Bed & Breakfast*

### *Main Street South*

The Main Street South corridor extends from the intersection of S Main Street & Oak Street to the Noyo River. Development in this corridor currently combines a variety of building types and uses including large retail stores, gas stations, motels, and other miscellaneous services. The majority of the existing development is set back from the street, placing surface parking lots between the street and buildings. Existing buildings in this area generally lack the significant architectural character, style and detail found in the Central Business District, and while sidewalks are present throughout the corridor, numerous driveways, large parking lots and five lanes for vehicular travel make this area less pedestrian-friendly. Key objectives for future development and remodels in this area include:

- Locate buildings close to Main Street.
- Emphasis on front yard trees and landscaping.
- Locate parking toward the rear or side of buildings.
- Encourage a cohesive use of land rather than fragmented commercial sites.

### *Franklin Street North*

The Franklin North corridor extends from Pine Street to Manzanita Street along North Franklin Street. Development is primarily industrial, with a few exceptions. Buildings are typically large in area and one-story in height. The majority of sites utilize chain-link fencing and graveled parking areas. Form follows function, maintaining access for large equipment and large warehouses as a priority over pedestrian-oriented and designed development. Key objectives for future development and remodels in this area include:

- Provide a generous landscape buffer between the building and public realm.
- When a fence is used, ensure it allows visual permeability, except when screening outdoor storage.
- Articulate large industrial buildings to break down the overall scale.
- Site or building entries should be visible from the public right-of-way.

### *Franklin Street South*

From the intersection of Oak and Franklin Street to North Harbor Drive lies the Franklin South Corridor. This corridor on the eastern side of the street is mainly an eclectic mix of single-family residences in a variety of building forms, setbacks, and landscape character. While the western portion is mainly made up of hotels and commercial development. Due to this mix of development, there is no significant architectural style and detail present throughout the corridor. Sidewalks and class II bikeways are present on both sides and speed limits are a maximum of 30MPH making it one of the more pedestrian friendly streets in town.

With some relatively large opportunity sites in this area, new development is likely to have a transformative impact. As new development occurs, new sites and buildings should be designed with the objectives listed below in mind.

- Ensure a comfortable pedestrian environment through design approaches for a front setback area.
- Limit parking to the rear or alley of primary structures.
- Create a visual and physical connection between a buildings entry and the public realm.
- Emphasis on front yard trees and landscaping.
- Mixed-use development is heavily encouraged.

## Gateways

Considered the “edge of town” entry points from the surrounding countryside. Gateways are conceptually simple, ensuring the transition from the outside of town and the urban character of the streetscapes within the town be appropriate in their “small town character.”

The City of Fort Bragg has two defined gateways, north of the Pudding Creek Bridge and South of the Noyo Harbor Bridge. Development in these locations should follow the following guidelines in addition to the General Guidelines.

- Development should not detract from views to the ocean.
- Signage should be modest in scale and should not block the view shed.
- Significant landscaping shall be installed to reinforce the transition from a wilderness environment to an urban environment in gateway development. Landscaping should include trees and drought tolerant plants. Lawns are discouraged.
- Site design should include open space around the periphery of the gateway development to reinforce the transitional quality of the area.
- Site design should include installation of bike lanes and sidewalks.
- Gateway development should model Green Building techniques and materials.

## General Plan Reference

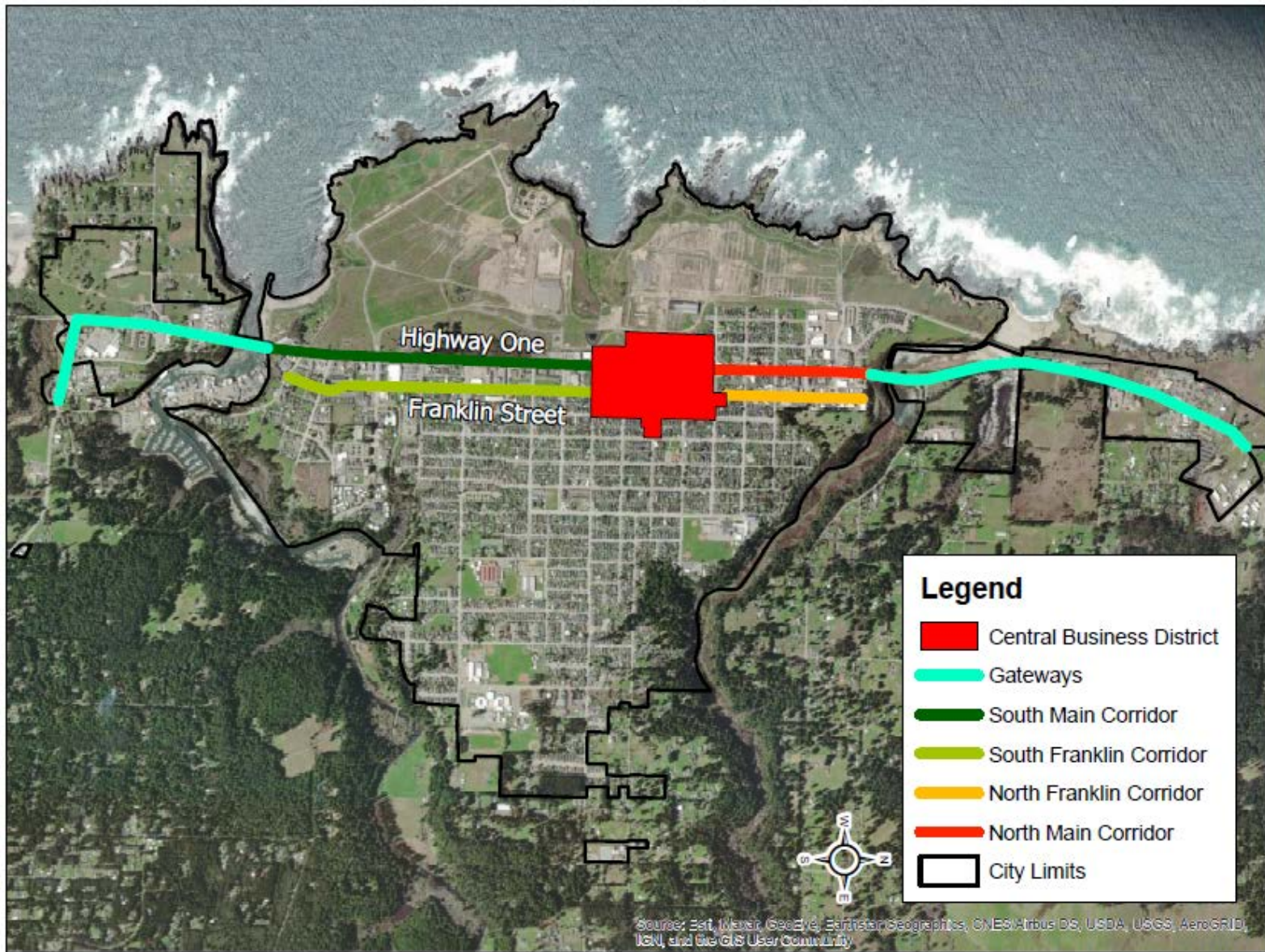


Goal CD-3, Policy CD-3.1, 3.2





# City of Fort Bragg Gateways & Corridors

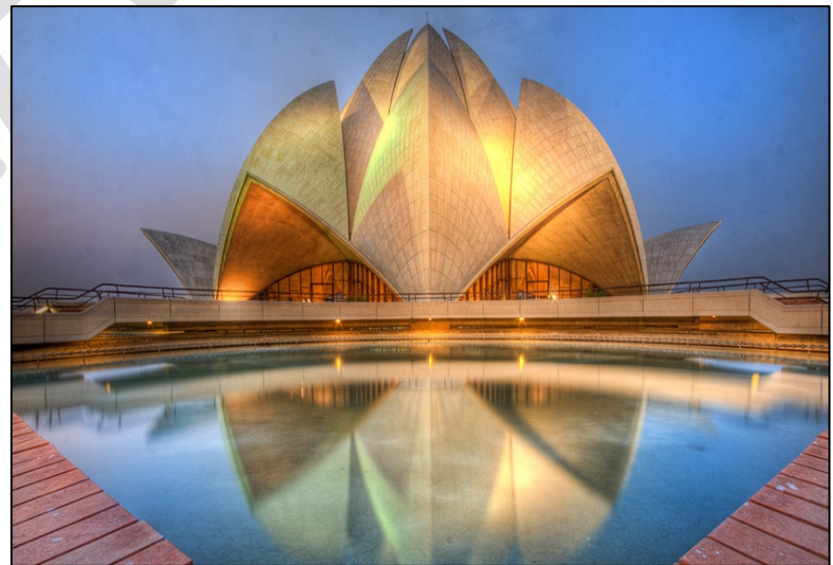


## Exceptional Design Exemption

The City recognizes the importance of innovative, exceptional and truly place making design, which may fall outside of the design criteria herein. Therefore, in addition to waivers and concessions made under applicable State laws, a project applicant may request exceptions, in writing, as part of the planning permit application for the proposed project. The request for an exemption must contain detailed information as to how the building design is going to create a unique space that is innovative or exceptional and a list of the design criteria which the applicant is unable to comply with in order to achieve this.

The decision-maker (Planning Commission or City Council) will consider the request and information provided and make findings to approve or deny the request. All of the following findings shall be made prior to approving an exemption.

- Approving the exemption will not create a safety hazard or impair the integrity and character of the neighborhood in which the property is located.
- Buildings and projects shall facilitate fundamentally new materials, methods, and tectonic articulations and/or forms of construction.
- The proposed project meets the purpose and guiding principles of the Design Guidelines.



## Chapter 2: General Citywide Design Guidelines

### Massing, Elevations & Articulations

#### *Mandatory Standards*

1. Structures shall be well-articulated on all sides visible from public streets and views. The highest level of articulation occurs on the front façade, and on all elevations visible from the public right of way. This includes variation in massing, roof forms, and wall planes, as well as surface articulation. Avoid boxy and monotonous facades that lack human scale dimensions and have large expanses of flat blank wall planes visible to the public.
2. All development adjacent to the Coastal Trail (Noyo Headlands Park) shall step back the structures on the upper floor from the side of the building that is adjacent to the Coastal Trail. Roof decks and balconies that overlook the coastal trail should be unobtrusive.
3. The scale of buildings shall relate to the surrounding development patterns. Buildings with greater height than surrounding buildings should step back the structure on the upper floors from street and public spaces to lessen the appearance of mass and bulk.
4. Architectural details and materials shall be incorporated on the lower part of the building facade to relate to human scale. These pedestrian scale elements can include awnings, trellises, windows, building base articulation, and changes in materials, textures, and colors.

General Plan Reference  
Goal CD-1, Goal S-1

#### *Preferred Standards*

1. Architectural elements that add visual interest, scale, and character such as projecting balconies, trellises, recessed windows, window and door detailing, or green garden walls should be incorporated to help articulate facades and blank walls.
2. Break up large building forms by vertical and horizontal variations in wall and roof planes, building projections, projecting ribs, reveals, door and window bays and similar design elements. To divide the building mass into smaller scale components, building faces over 50 feet long should reduce the perceived mass and bulk by one or more of the following: change of roof or wall plane; projecting or recessed elements, such as trellises, balconies, openings, etc.; varying cornice or rooflines; or other similar means.
3. All building and site design should use passive solar design strategies for space heating and lighting to reduce energy demand to the extent feasible.



*Structures shall be well-articulated on all sides visible from public streets.*

## Architectural Form & Detail

### Mandatory Standards

1. Franchise architecture is strongly discouraged. Buildings shall be readily reusable by other tenants and should not be identified with a design that is specific to a franchise.
2. Commercial development shall compliment and/or Incorporate design elements and features from the historic architectural styles of the Central Business District, such as bay windows, porches, projecting eaves, awnings, and similar elements that add visual interest to the development

### Preferred Standards

1. Commercial development should include a higher level of architectural detailing and higher quality materials at the pedestrian level of the building.
2. Architectural style should be compatible with the surrounding character, including building style, form, size, materials, and roofline.
3. The use of awnings, canopies, recesses, and arcades is strongly encouraged to provide protection for pedestrians and to add interest and color to buildings. Awning placement should fit within the scale, proportion, and rhythm created by the distinct architectural elements and should not cover piers, pilasters and other architectural details. Awnings should be compatible in color and design with the buildings. Awning frames and supports should be painted or coated metal or other non-corroding material and designed to withstand wind loads.

### General Plan Reference

Policy LU-4.1



*Commercial development shall incorporate design elements from the historic Central Business District.*



*Use of recesses are strongly encouraged to provide protection for pedestrians. (Union Lumber Company Store Early 1900s)*

## Roof Form

### Mandatory Standards

1. Roof forms shall be used to distinguish various building forms, create an interesting roof line, and help break up the building massing.
2. Buildings shall incorporate passive solar design and include at least one roof plane that is large enough to accommodate photovoltaic (PV) panels to meet the majority (>50%) of the building's energy needs, when feasible.
3. All roof-mounted equipment shall be effectively and attractively screened through the use of various architectural detailing including, but not limited to, roof form, decorative parapets or cornices that match the architectural character and materials of the building.
4. Highly reflective materials shall be avoided.
5. Balconies, roof gardens and roof decks shall be designed to minimize impacts on privacy in neighboring buildings and lots.



*Rooftop garden natural screening*

### Preferred Standards

1. Roof forms such as gable, hip or shed roof combinations are strongly encouraged. If parapet roofs are used they should include detailing typical of Fort Bragg's character and design. **Special care should be exercised in designing how the roof frames or meets the sky, which may include but not be limited to: use of false fronts, architectural detailing, and roof overhangs.**
2. Roof overhangs are encouraged to create shadow and add depth to facades. Where applicable to the architectural style, roof eaves should extend at least 12" from primary wall surface to enhance shadow lines and articulation of surfaces and protect from driving rain. **Smaller roof overhangs are permissible with rain screen or other technologies.** Roof overhangs should be designed to facilitate passive solar heating.
3. Exposed structural elements (beams, rafter tails, etc.) are encouraged as roof overhang details.
4. Natural and non-reflective roof materials are encouraged, including cool roof and green roof techniques (planted with native plantings) are encouraged.



*Roof mounted equipment shall be screened.*



## Windows, Doors, and Entries

### Mandatory Standards

1. The size and location of doors and windows shall relate to the scale and proportions of the overall structure.
2. The main building entrance shall be distinguished from the rest of the building and easily recognizable and oriented toward the street, internal walkway, or courtyard whenever possible.
3. Buildings located on corners in pedestrian areas shall provide for visibility around the corner, by either including windows on both walls that intersect at the corner or an angled corner entryway.
4. Exterior stairways shall compliment the architectural style of building, where required they should be open to allow views for natural surveillance.
5. Windows shall be incorporated at storefront locations.
6. The use of clear glass (at least 80% light transmission) is recommended. Dark tinted glass and reflective mirror-like glass are not allowed.



*Corner lot windows for visibility purposes*

### Preferred Standards

1. Front entry design should incorporate two or more of the following: front porch or stoop; recessed doors, archways, or cased openings; canopies; decorative detailing or placement of art; a projecting element above the entrance; integration of architectural elements such as flanked columns or decorative fixtures; changes in the roofline or a tower feature.
2. Window and door type, material, shape, and proportion should complement the architectural style of the building.
3. In general, upper stories should have a window to wall area proportion that is smaller than that of ground floor storefronts (typically 30 to 50 percent).
4. Windows should be articulated with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.



*Front entries should incorporate multiple design features*

## Materials

### Mandatory Standards

1. The following table identifies materials that are encouraged, acceptable and discouraged for use on a building's façade:

#### Encouraged

- Horizontal and vertical redwood or solid wood siding
- Shingle siding
- Natural stone and brick
- Smooth stucco, hand troweled stucco
- Fiber cement siding with an authentic appearance, **profile and dimension, over 3/8" thickness**
- Other like materials

#### Acceptable

- **Real brick, rock veneer, stone or similar materials with an authentic texture, color, and dimension.**
- Board and batten
- Formed concrete
- Steel
- Glass block
- Corrugated metal/Architectural Metal Siding
- Other like materials
- **Fiber cement siding with an authentic appearance, under 3/8' thickness**

#### Discouraged

- Low quality wood engineered siding
- Textured/rough stucco
- Concrete block
- Ceramic tile
- Slump rock
- Highly tinted, reflective, or opaque glass
- Other like materials

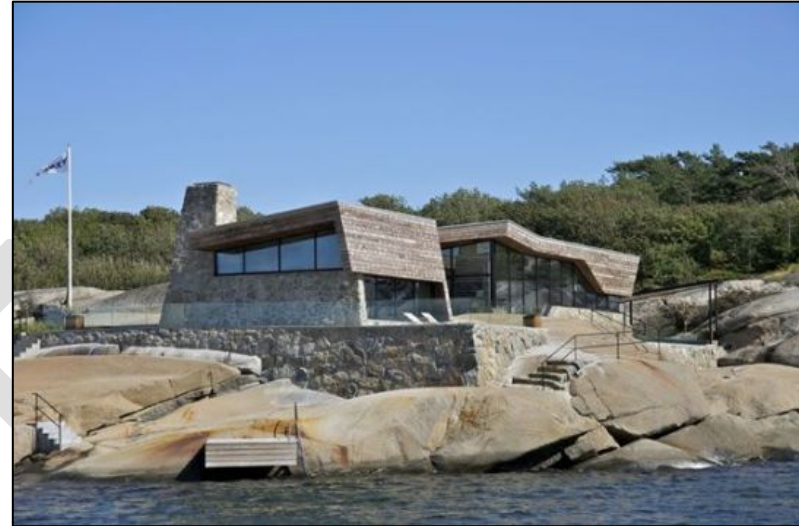
### Preferred Standards

1. Materials should be varied to provide architectural interest, however, the number of materials and colors should be limited and not exceed what is required for contrast and accent of architectural features. Exterior materials and architectural details should relate to each other in ways that are traditional and logical.
2. The use of green building and sustainable materials is encouraged to exceed the minimum required by the California Building Code.
3. Materials should enhance different parts of a building's façade and be consistent with the desired architectural style.
  - a. Where appropriate to the architectural style, materials and textures should vary between the base and body of a building to break up large wall planes and add visual base to the building.
  - b. Heavier materials and darker colors should be used lower on the building elevation to form the building base.
  - c. Exterior columns or supports for site elements, such as trellises and porches, should utilize materials and colors that are compatible with the rest of the development.
4. Material changes should occur at intersecting planes, preferably at inside corners of changing wall planes or where architectural elements intersect such as a chimney, pilaster, projection, or fence line.

## Colors

### *Preferred Standards*

1. Colors should enhance different parts of a building's façade and be consistent with the desired architectural style.
2. Colors west of Highway 1 should recede in the view shed or be subordinate to the view shed. Dark earth tone colors are preferred where the view shed is dark and lighter earth tone colors may be preferred where the background is lighter.
3. Colors should visually relate building elements to each other, and also individual façades to each other. The colors chosen for a building façade should complement neighboring façades (but should not replicate).
4. Color should be used as an important design element in the development's appearance. Historically, certain color palettes were associated with particular architectural styles. Whenever possible, exterior building colors should reflect the basic colors of the architectural style or period of the building or its environment. For example, bright and rich color combinations associated with the Victorian Era are appropriate downtown. However, in the coastal zone color pallet should focus on earth tone colors. Bright and sharply contrasting colors should be avoided.
5. Colors used on exterior façades should be harmonious and contrasting compatible colors are encouraged to accentuate details
6. No fewer than two colors should be used on any given façade, and three or more colors are preferred. This includes any "natural" colors such as unpainted brick or stone. The three preferred colors should constitute the primary base color, secondary color and minor trim color.



*Dark earth tones are preferred to blend with the environment*



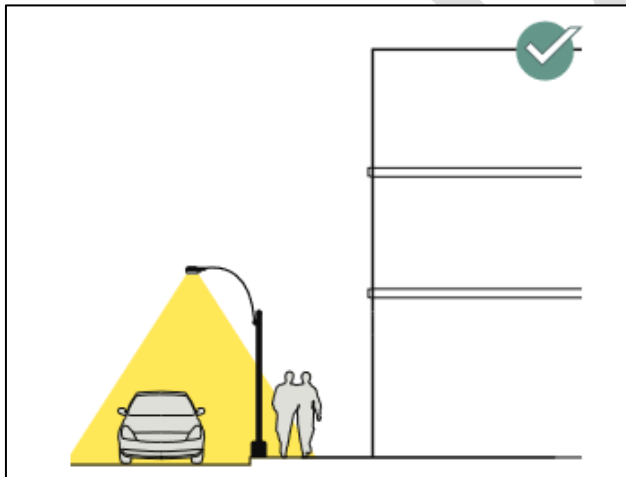
*Historic color palettes should be used in the downtown*



## Lighting

### Mandatory Standards

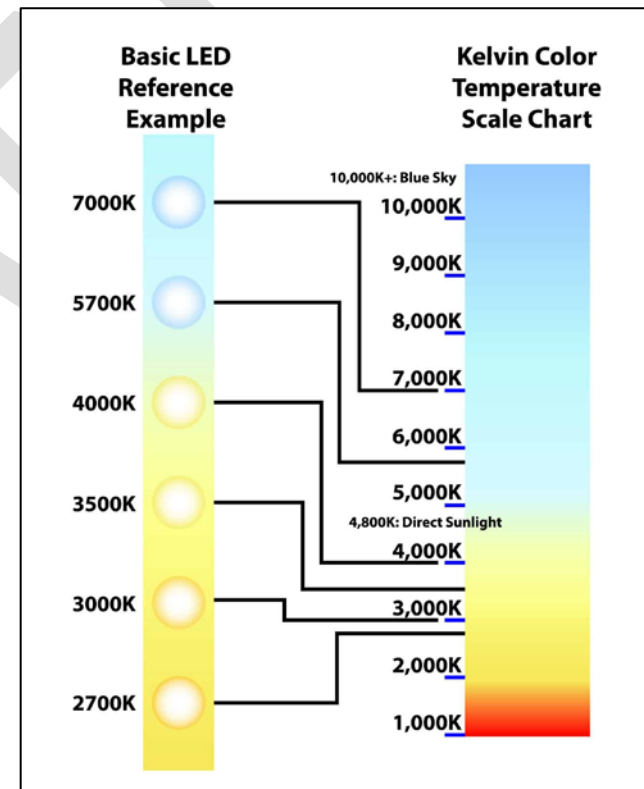
1. Exterior lighting shall be designed as part of the overall architectural style of the building and should illuminate entries, driveways, walkways, and activity areas.
2. Entrances shall be well illuminated for safety and identification purposes.
3. Lighting sources shall be hidden unless the sources are an integral part of the design. Lighting fixtures should not project above the fascia or roofline of the building.
4. Partial or full cutoff lighting is required. Exterior lighting shall be located and designed to avoid shining directly onto nearby residential properties, and shall minimize off-site glare. The latest technical and operational energy conservation concepts should be considered in lighting designs.
5. Parking lot lighting fixtures shall be no taller than 16 feet in height and shall cast light downward without allowing glare or light to encroach upon neighboring properties.



*Design lighting to minimize spill onto adjacent properties*

### Preferred Standards

1. Subtle and minimalist lighting may be used to accent architectural features and landscaping. Accent lighting should not contribute to glare or distract from the overall ambient night lighting in the neighborhood.
2. Exterior lighting should not have a color temperature above 4500 Kelvin.
3. Site lighting should minimize impact between the various uses (i.e. shielding commercial lighting from residential uses).



*Light temperature scale*

## Site Planning

### *Mandatory Standards*

1. Buildings should be sited in order to minimize impacts to surrounding development and open space. Care should be taken to place structures well to minimize impacts to natural areas and natural contours.
2. Buildings should generally be oriented toward the street. Buildings on corner parcels should establish a strong tie to both streets.

### *Preferred Standards*

1. Climate factors such as prevailing winds, window and door orientation, and the positioning of buildings on the site should be coordinated to maximize energy conservation and Photovoltaic (PV) access.
2. All building and site design should use passive solar design strategies for space heating and lighting to reduce energy demand to the extent feasible.



*Orient buildings toward the street*

## Landscape

### *Mandatory Standards*

1. Plants and trees with root systems that uplift hardscape materials shall be appropriately located away from paved and concrete areas.
2. Landscaping on parcels that are adjacent to the Coastal Trail shall use plants native to the northern California Coast. Invasive plants are prohibited.
3. Trees and plants native to the Northern California coast and those that flourish in the region, shall be selected. Plant materials should also be selected for their low maintenance qualities.



*Plants native to the Northern California Coast shall be selected*

### *Preferred Standards*

1. Landscaping should generally incorporate plantings utilizing a three-tiered system: ground covers (including flowering plants – annuals and perennials), shrubs/vines, and trees.
2. Landscaping should enhance the character and sense of place for each project. Landscaping should help complete the design of a site and should not be added as an afterthought. The choice, placement, and scale of plants should relate to the architectural and site design of the project. Landscaping should enhance the quality of the development by framing and softening the appearance of buildings, screening undesirable views and equipment, providing buffers from incompatible uses, and providing protection from wind and rain. Landscaping should be in scale with adjacent buildings and be of appropriate size at maturity.
3. Landscaping designs that do not require irrigation systems are preferred. Projects that include irrigation shall emphasize water-efficient plants. Rainwater and greywater are encouraged to meet all irrigation needs.
4. Bio-swales and rain gardens should be utilized within landscaped areas to infiltrate stormwater on site.
5. Landscaping features that defines and accents specific areas such as building entry, parking lot entrances and the main walkways to community facilities is encouraged.

[General Plan Reference](#)  
Goal S-1, Goal S-3, Policy S-3.4

## Fencing and Screening

### *Mandatory Standards*

1. Fences or walls of more than 100 ft should provide variation in the design – via changes in height, materials, embellishments, step backs, gates, etc. - to break up the length and provide visual interest.
2. Screening should not result in hiding places or entrapment areas.

### *Preferred Standards*

1. Fences should be kept as low as possible while still performing their intended security, screening, or separation functions.
2. Fencing materials and colors of fences and walls should be consistent and compatible with the architectural themes on the site. Open, wooden or natural fencing are preferred.
3. Use of berms, vines and plantings should be used to screen less desirable areas from public view; i.e., any solid, windowless elevations, trash enclosures, propane tanks, parking areas, storage areas, loading areas, public utilities, and mechanical equipment.



*Well articulated fencing*

## Open Space & Pedestrian Circulation

### *Preferred Standards*

1. Courtyards, public space, plazas, and landscaped areas are encouraged.
2. Trees and public art should also be incorporated into courtyard, plaza, and mid-block passage design.
3. Open space areas should be sheltered from the noise and traffic of adjacent streets or other incompatible uses. Open space siting should give consideration to prevailing breezes and sun orientation in order to provide a comfortable environment.
4. Ideally, at least 50 percent of the open space area should have access to direct sunlight.
5. Shelters are encouraged to provide protection from inclement weather.
6. In commercial areas, open spaces and passages should be inviting, well lit, and accessed from multiple locations.

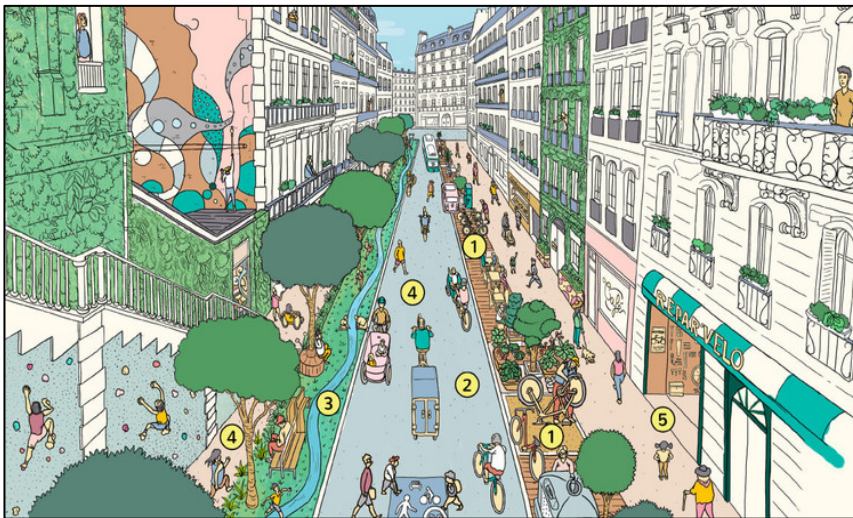


*Mid-block passage public art*

## Site Amenities

### Mandatory Standards

1. Building numbers and individual unit numbers shall be readily visible, in a consistent location, well lighted at night, and compatible with the overall design of the development.
2. Internal circulation signs and visitor parking areas shall also be clearly indicated. A directory that shows the location of buildings and individual dwelling units within the development is encouraged.



*Pedestrian amenities are strongly encouraged*

### Preferred Standards

1. Where bus routes are located near the development, the site design should consider convenience and comfort factors for users. These include direct access, widened sidewalks, seating areas, and weather protection provided near public transit stops.
2. Pedestrian amenities (benches, shelters, drinking fountains, lighting, trash receptacles, electric vehicle charging stations, and bicycle racks) are strongly encouraged.
3. Pedestrian activity areas should provide a sufficient level of wind and rain protection for pedestrians. Canopies, trees, or other methods of protection should be provided.
4. The relative size and design of private street furniture should be compatible with the architectural style of the building to which it relates, while also complementing street furniture in the public realm. Street furniture should be constructed of durable, easily maintained materials that will not fade, rust, or otherwise quickly deteriorate.
5. Decorative paving is encouraged for entryways, courtyards, plazas, pedestrian walkways, and crosswalks. Paving materials should complement the architectural design of the building and landscape design: stamped concrete, stone, brick, pavers, exposed aggregate, and colored concrete are recommended

General Plan Reference  
Goal C-1, Goal C-10, Policy C-3.4

## Pedestrian Circulation

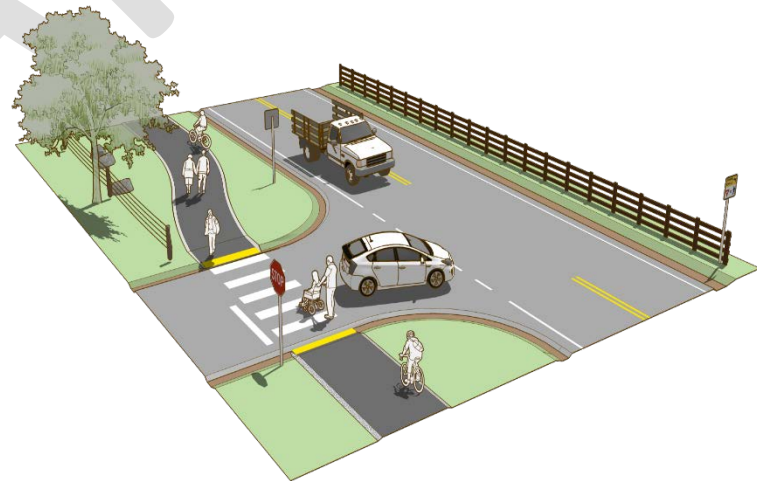
Pedestrian access connects buildings to their surroundings and encourages street activity.

### Mandatory Standards

1. On-site drop-off areas shall be adjacent and parallel to streets and/or drive aisles to allow vehicles to get out of the main flow of traffic and stop. These include bus stops and pedestrian pick-up/drop-off areas
2. Development adjacent to Coastal Trail (Noyo Headlands Park) shall provide pedestrian access to the coastal trail.

### Preferred Standards

1. Continuous, clearly marked pathways should be provided from the parking areas to main entrances of buildings. Design walkways and parking lots to minimize pedestrians crossing parking stalls and landscape islands to reach building entries.
2. Convenient pedestrian connections should be provided to adjoining developments, commercial projects, and other compatible land uses.
3. Pedestrian access to adjacent existing or planned open space areas and corridors should be provided for the development's users.
4. Raised walkways, decorative paving, landscaping, and/or bollards that separate pedestrians from vehicular circulation are encouraged.
5. Pedestrian walkways should connect common areas (parking, open space, playground, etc.) to site buildings, sidewalks and adjacent parks.



*Examples of preferred pedestrian pathways*

## Circulation and Parking

Safe and efficient parking and circulation arrangements take into consideration the needs of pedestrians, children at play, parking lot appearance, and prevention of car theft or damage.

### *Mandatory Standards*

1. Parking lots shall be well designed, with consideration given to landscaping, lighting, building massing, and pedestrian/vehicular circulation.
2. Parking shall be designed for safe ingress and egress. Site plans should balance the need to provide adequate vehicular access with the need to eliminate unnecessary driveway entrances.
3. Pedestrian connections and linkages within parking lots shall have a well-defined separation from vehicular circulation.
4. Shared parking is encouraged. Parking areas serving multiple uses shall consolidate parking into larger lots.

### *Preferred Standards*

1. Locate parking lots to the rear of buildings, along alleys, or on side streets to avoid conflicts on major streets. When this is not possible, design the primary entry to the lot with patterned concrete or pavers to differentiate it from the sidewalk.
2. Parking areas should be linked to adjacent public sidewalks, pedestrian walkways, alleys, and open space areas.
3. Parking lots shaded with solar panels are encouraged.
4. Pedestrian access from parking lots to building entries should be defined in the design of the parking lots, creating clear and visible walkways. In addition, walkways should be landscaped with shade trees or shrubs and other pedestrian amenities. Pedestrian connections should

connect parking area to sidewalk through buffer areas at key locations.

5. The use of brick, interlocking pavers, and cobblestones and or permeable paving for drive isles and parking lots are encouraged.
6. Special accents that define the main parking lot entry and strongly encouraged.
7. Dead-end aisles are strongly discouraged.



*Solar and shaded parking lots are encouraged*

[General Plan Reference](#)

## Additions, Remodels, & Renovations

### *Mandatory Standards*

1. The design of a proposed addition shall follow the general scale, proportion, massing, and detailing of the original structure. New additions shall be interpretations of, or improve upon, the design of the existing structure wherein the main characteristics of the existing building are incorporated or improved upon using modern construction methods. This may include:
  - a. Using similar proportions
  - b. Extending the architectural lines from the existing building to the addition
  - c. Sensitivity to the patterns of window and entrance spacing and openings
  - d. Harmonizing with existing colors and materials
  - e. Inclusion of similar architectural details (i.e. window/door trim, lighting fixtures, decoration)
2. Building materials used for the addition shall be of comparable or better quality than the existing building.

### *Preferred Standards*

1. Introducing or changing the location, size, or style of windows or other openings that alter the architectural rhythm or character of the original building is discouraged.
2. When original decorative details and architectural elements were covered up in previous remodeling, these forgotten details should be restored and incorporated in the design of the remodeled building.

## Garages & Ancillary Structures

### *Mandatory Standards*

1. Accessory structures shall be complementary in form, material, and color to the primary buildings.
2. The number of accessory structures shall be minimized; uses shall be combined where possible into one accessory structure.

### *Preferred Standards*

3. Refuse and recycling storage areas are encouraged to be covered

## Loading and Delivery

### *Mandatory Standards*

1. Loading and delivery service areas shall be located and designed to minimize their visibility, circulation conflicts, and adverse noise impacts to the extent feasible.
2. Loading and delivery areas shall be screened with portions of the building, architectural wing walls, freestanding walls and/or landscaping planting.



## Chapter 3: Specific Land Uses

### Central Business District

#### Site Planning

##### *Mandatory Standards*

1. Buildings in CBD should be built to the front and side property lines to form a continuous line of active building fronts along the street and avoiding gaps. Exceptions to this standard are:
  - a. Portions of a building's façade may be set back to provide areas for plazas, pedestrian areas, pedestrian paseos, outdoor eating spaces, and small landscaped areas. Such areas should be provided with outdoor furniture and amenities appropriate for the space.
  - b. The provision of corner setbacks and cutoffs is strongly encouraged to facilitate pedestrian movement, provide better visibility for drivers, and accentuate corner buildings.
2. No parking shall be provided between building front doors and the street they face in the Central Business District.

##### *Preferred Standards*

1. In walkable shopping areas, building entrances should be spaced no more than 50 feet apart from each other (to provide a seamless retail experience and to increase social interaction and sidewalk activity).
2. The provision of usable pedestrian-oriented spaces is strongly encouraged. The following types of open space should be considered: plazas; courtyards; outdoor dining; corner cut-off areas with enhanced amenities; and mid-block pathways and/or alleys.



*Buildings should be built to the front and side property lines*



*No parking shall be provided between the front doors and street*

## Architecture

### Mandatory Standards

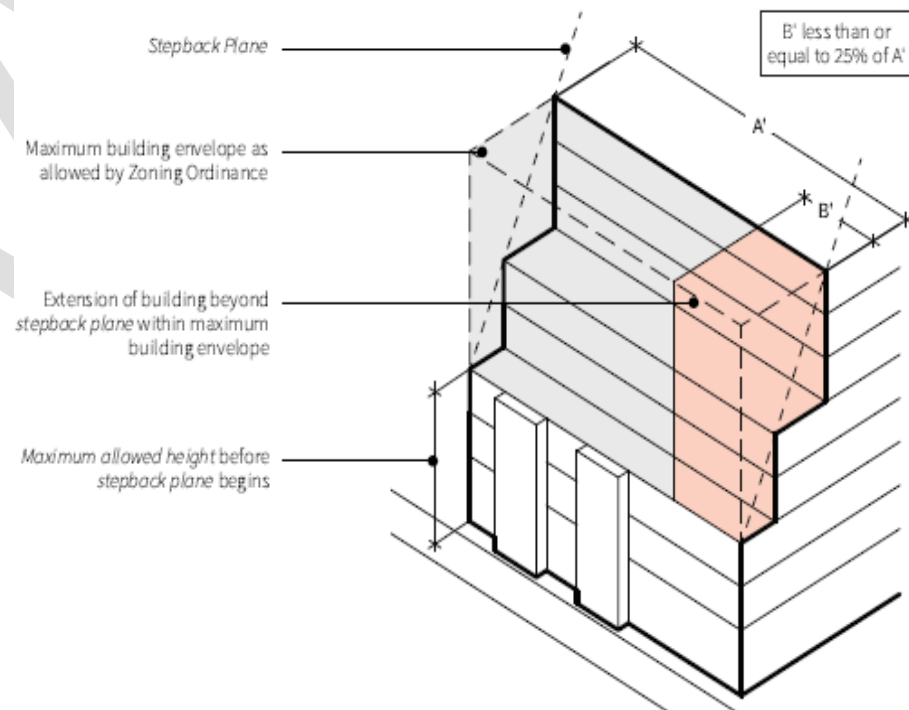
1. Human scale shall be created through the use of building forms such as arches, walls, trellises, awnings, arbors and pergolas.
2. Buildings shall be designed with a well-defined base, mid-section or body, and a top story or roofline.
  - a. Building base – The design of the building base should differentiate it from the upper floors of the building. This may be a projection of the lower wall surface and/or a different material or color. It may be created by a heavier or thicker design treatment of the entire ground floor for a building of two or more floors, or by a setback of the upper floors.
  - b. Mid-Section – The preferred architectural character of the mid-section is to treat it as a solid wall with recessed windows or groupings of windows. Long or large wall surfaces with flush-mounted windows or without windows should be avoided.
  - c. Roofs and Rooflines – The design of roofs and rooflines should provide visual interest from the streets below and should complement the overall façade composition. Roofs of historic commercial buildings should be used as an inspiration for new designs. Flat roofs and false facades are acceptable if a strong, attractively detailed cornice and/or parapet wall is provided.
3. Blank walls on elevations visible from public streets and gathering spaces are prohibited.
4. To divide the building mass of larger buildings into smaller scale components, buildings over 50 feet of frontage, visible from a public right of way, shall reduce the perceived mass and bulk by using one or more of the following:

- a. change in roof heights or wall plane;
- b. projecting or recessed elements;
- c. varying cornice or rooflines; or
- d. other similar means.

### Preferred Standards

1. Architectural features in good proportion with the overall structure are encouraged. Gables, turrets, towers, or similar elements are encouraged to accent buildings at street corners, at the terminus of a street corridor, alley, or pedestrian way. Corner buildings should have prominent corner entrances.

*Divide buildings into smaller scale components*



## Architectural Compatibility

### *Mandatory Standards*

1. Buildings shall be composed of elements and details representative of Fort Bragg's architectural heritage. This may be expressed through the use of window and door treatments, storefront details, cornices, etc. Designers should familiarize themselves with the design elements and details used on older buildings in the downtown area and should incorporate contemporary versions of these older designs.
2. Whenever an infill building is proposed, identify the common horizontal elements (e.g. cornice line, window height/width and spacing) found among neighboring structures, and develop the infill using a similar rhythm or alignment.

### *Preferred Standards*

1. The overall pattern of windows, wall panels, pilasters, building bays, and storefronts should be based on a module derived from Fort Bragg's prevailing module of ground level building features. Generally, storefronts and building bays should be based on modules of approximately 25 to 50 feet in width.



*Buildings in the Central Business District should represent Fort Bragg's architectural heritage*

## Storefronts

### *Preferred Standards*

1. Each storefront should be treated like a small building with its own base, roofline, and door and window pattern.
2. The base panel (bulkhead) below the display window should be a minimum of 24 inches and a maximum of 40 inches. Materials in this area should be visually heavier than adjacent walls.
3. Recess entries that provide for weather protection and a transition zone from sidewalk activity into the store are strongly encouraged. Recommended treatments include: special paving materials such as ceramic tile or brick; ornamental ceilings such as coffering; and decorative light fixtures.
4. Cornices should be provided at the second floor to differentiate the storefront from upper levels of the building and to add visual interest.
5. The following details are encouraged to add visual interest and functionality: hanging or mounted light fixtures with decorative metal brackets; decorative scuppers, catches and downspouts; balconies, rails, finials, corbels, plaques; and metal grille work at vent openings.
6. Doors should be substantial and well detailed. They should match the materials, design, and character of display window framing.



*Each storefront should be treated like a small building*

## Mixed Use Development

### Site Planning

#### *Mandatory Standards*

1. Loading areas and refuse storage facilities for the commercial use should be located as far as possible from residential units and should be completely screened from view from adjacent residential portions of the project or another adjacent residential uses. The location and design of refuse storage facilities should mitigate nuisances from odors when residential uses might be impacted.



*Buildings should be arranged to create opportunities for common open space*

#### *Preferred Standards*

1. Residential buildings should be arranged to create opportunities for common open space for the residential use. Common open space areas should be completely separated from other uses on the site and should provide a semi-private gathering place for residents.
2. Buildings should be constructed near or along the front property line(s). The minimal allowable setback should be used from the primary property line(s) is encouraged.
3. On larger parcels, projects should provide pass-throughs or plazas to facilitate pedestrian access to parking areas and surrounding uses and to create pedestrian gathering spaces.



*Buildings should be constructed along the front property line(s) with minimal setbacks*

## Architecture

### *Mandatory Standards*

1. When residential & commercial uses are in the same structure, separate pedestrian entrances should be provided for each use.
2. All roof-mounted equipment should be completely screened from views above. Special consideration should be given to the location and screening of noise generating equipment such as refrigeration units, air conditioning, and exhaust fans so that they don't disturb residences.

### *Preferred Standards*

1. The architectural style and use of materials should be consistent throughout the entire mixed use project. However, differences in materials and/or architectural details may differentiate the residential portion of the project from the commercial portion of the project.



*Architectural style and materials should be consistent*

## Site Amenities

### *Mandatory Standards*

1. Outdoor Space. include publicly accessible, designed outdoor space for resident and public use, that is proportionate to the size of the proposed buildings. Public spaces can include plazas, parks, courtyards, corridors, sidewalk cafes, trails, outdoor seating areas and/or similar active and passive areas. Public spaces should be located in visually prominent, accessible and safe locations that promote year-round activity.
2. Useable open space or public gathering places accessible to the community (e.g., a roof garden, expanded waiting area adjacent to a bus stop, etc.) shall be provided on larger projects.
3. Landscaping, shade trees, and benches shall be incorporated into the site design as well as outdoor dining areas to encourage pedestrian activity on the ground floor level of a building.



*Outdoor space shall be proportional to the size of the buildings*

## Street Design

### *Preferred Standards*

1. Street Design interior to each development, the pedestrian-oriented street design should include on-street, diagonal or parallel parking; wide pedestrian walkways along building frontages; street trees in tree grates or planting beds; and/or bulb-outs. Pedestrian crossings shall be included at regular intervals along the internal roadway system for maximum connectivity. Center median landscaping is encouraged.
2. Design landscaping islands and walkways to connect building entries where possible.
3. Minimize conflicts between pedestrians and vehicles by limiting curb cuts. Provide shared curb cuts between adjacent properties in multi-site developments wherever possible.



*Landscape islands and walkways should connect building entries*



*Pedestrian oriented walkways with street trees*



*Provide shared curb cuts*

## Compatibility with Adjacent Uses

### Mandatory Standards

1. To ensure and protect the privacy of residents in adjacent single-family homes, windows in mixed-use projects facing single-family residences within 15 feet of the property line, shall be carefully arranged. Examples of privacy options include translucent or louvered windows, offset window patterns, or clerestory windows.
2. Site planning and building design shall provide for convenient pedestrian access from the public street into the nonresidential portions of the project, through such means as courtyards, plazas, walkways, and street furniture.
3. Upper floors of mixed-use buildings shall be stepped back when adjacent to single-family residences.
4. Mixed-use projects shall be designed to minimize vehicular circulation on streets through local single-family neighborhoods.
5. New development over a single story shall be designed in a way to minimize impact to natural ventilation and solar access on adjacent properties.



*Upper level step backs reduce looming impacts*

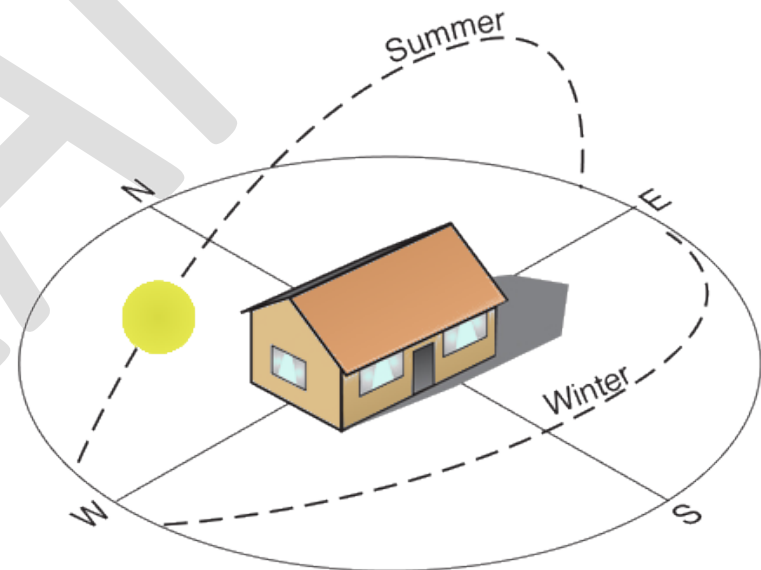
## Construction between Uses

### Mandatory Standards

1. Common walls between residential and non-residential uses shall be constructed to minimize the transmission of noise and vibration.
2. Orient buildings to minimize impact on natural ventilation and natural daylight for residences.

### Preferred Standards

1. Where practical, mechanical equipment and other sources of noise should be located away from building areas and exterior spaces designed for use by residents.



*Orient buildings to minimize impact on natural daylight*



## Site Planning – New Single Family Subdivisions

### *Mandatory Standards*

1. Variation of development patterns within new neighborhoods is necessary to achieve visual diversity and avoid a monotonous appearance. One or more of the following techniques shall be incorporated into the project's design to help achieve diversity.
  - a. Varied front yard setbacks – Placement of homes and garages close to or back from the street creates different patterns of visible open space. The structures themselves, when close to the street, also add diversity to the view.
  - b. Varied lot widths & sizes – Making some lots wider, and some narrower, than the average lot provides different amounts of open area between structures. It also allows placement of different sizes and shapes of homes that give a neighborhood more character and individuality.

### *Preferred Standards*

1. Residential structures should be oriented and placed for:
  - 1) energy access and efficiency; and 2) to improve the streetscape with front doors and porches facing the street and garages and parking pulled behind the buildings to reduce their dominance

## Site Planning – New Multi Family Developments

### *Mandatory Standards*

1. New multi-family residential structures shall be compatible with other development in the immediate area. New structures should complement existing development through scale, proportion, height, form, style, siting, and relationship to surrounding structures.
2. Buildings shall be oriented toward the street. Buildings should be oriented to provide some privacy yet still relate to the street and the existing community. Doors should be visible from the street and windows should allow residents to have “eyes on the street” for natural surveillance.
3. In addition to a street orientation, the clustering of multi-family units shall be a consistent site planning element. Whenever possible, buildings should be configured around courtyards, gathering areas, and open spaces.

### *Preferred Standards*

1. Mailboxes should be located in highly visible, heavy use areas for convenience, to allow for casual social interaction, and to promote safety. A bench or seating area in close proximity to the mailbox location is strongly encouraged. A recycling receptacle should be located adjacent to the mailboxes.
2. Clusters of smaller buildings (with one to 6 units) are preferred over large buildings with more than 6 units per building.

## Architectural Design

### *Mandatory Standards*

1. Carports and detached garages shall be designed as an integral part of the development's architecture. They should be similar in material, color, and detail to the main buildings of the development. Flat roofs should be avoided. Prefabricated metal carports should not be used.
2. The design of houses shall be varied within new neighborhoods to create diversity and interest. Housing on a street should include variability in massing, composition, architectural style, finish materials and colors. Repeating designs are permissible, only if the quality of the design is excellent and repetition is part of the architectural style. Repetitive units should not comprise more than eight units in a row or 50% of the units on any single block, whichever is more.

### *Preferred Standards*

1. Use of single-family residential design elements (e.g., pitched roofs, porches, individual entries) are recommended to reduce perceived density, give identity to the development and its individual dwelling units, add visual interest, and be compatible with the neighborhood context.
2. Buildings with height greater than two stories that step back the structure on the upper floor from the street and public spaces are encouraged.

## Open Space & Outdoor Play Areas

### *Mandatory Standards*

1. Children's play areas shall be visible from as many units as possible and from private open space areas. Direct convenient access from private open space to the communal play area is encouraged.
2. Larger projects in new developments shall include bike paths as part of the street section, where feasible. Additionally, landscaping should be provided between the sidewalk and the street.

### *Preferred Standards*

1. A series of connected open space areas of varying shape, appearance and usage are encouraged.
2. Boundaries between private and common open spaces should be clearly defined by low walls or plant materials.
3. Outdoor play areas should be located adjacent to laundry rooms, community centers, or similar common facilities. Play areas should not be located near public streets, parking, or entry areas unless physically separated by appropriate walls, fencing, or dense landscaping.
4. Hard surface areas for outdoor activities (e.g., bicycle riding, skating, rope jumping, and hopscotch) should be provided. These active play areas should be safely separated from vehicular use areas.
5. In larger developments, separate, but not necessarily segregated, play areas or informal outdoor spaces should be provided for different age groups for safety reasons. Small developments may combine play areas (e.g., a tot lot incorporated into a larger activity area for older children).
6. Seating areas should be provided where adults can supervise children's play and also where school-age children can sit. Seating location should consider comfort factors, including sun orientation, shade, and wind.

## Auto Repair Services

### *Mandatory Standards*

1. Parking spaces for vehicles stored for repair shall be located in the least visible areas of the site. Surface parking lots shall be screened with active building space, fencing, art and/or landscaping to provide a visual buffer between the public right of way and stored vehicles.
2. Special design considerations should be made for the storage of oil, lubricants and other potentially hazardous materials.
3. Compressors and pneumatic equipment shall be used in enclosed structures.
4. Adequate storage and trash areas shall be designed to accommodate disposal of junk parts, packing, and used oil and lubricants.

### *Preferred Standards*

1. Service/work bays should be oriented so that the interiors are not visible or audible from adjacent public streets, residential structures, or active open space. If such an arrangement is not possible, dense landscaping and/or screen walls should be used.
2. Sufficient space for vehicle drop-off should be provided. Site design should provide space for vehicle stacking during peak hours.

## Service Stations

### *Mandatory Standards*

1. Driveway cuts shall be limited to two per site.
2. Each pump island shall include a vehicle stacking area for at least three vehicles on at least one end of the pump island.

### *Preferred Standards*

1. Buildings containing service or car wash bays should not face toward a public street nor adjacent residential property.
2. The site design for projects located at street corners should provide a strong design element at the corner to help frame the public right-of-way and anchor the corner.
3. The site design should accommodate circulation and traffic volumes, minimizing paving and soften paved areas with landscaping.



*Soften paved areas with landscaping*

## Drive-Through Businesses

### *Mandatory Standards*

1. The building shall be the dominant visual feature from the street frontage, not the parking lot or the drive-through aisle.
2. Drive-through aisles shall be located at the rear of the building away from the street frontage whenever possible. If the drive-through aisle is located between the building and the street, dense landscaping and landscaped berms should be provided to screen the drive-through aisle from view from the street.
3. Drive-through lanes shall accommodate vehicle stacking at the menu board and at the pick-up windows to ensure adequate circulation.
4. Drive through lanes and loading/unloading areas shall be located as far as possible from residential properties.
5. Franchise formula architecture is strongly discouraged. Franchise identifying features shall be limited to the company's logo and signs.

### *Preferred Standards*

1. Outdoor eating areas are encouraged and should include details such as trellises, low walls, fountains, etc.
2. Drive throughs should have a waiting area.



*Franchise architecture is strongly discouraged*



*Drive through lanes shall be screened with dense landscaping*

## Hotels and Motels

### *Mandatory Standards*

1. Walkway, stairway, balcony railings, and other similar architectural details shall be consistent with basic building design.
2. Hotels adjacent to, or across from, the Coastal Trail and parkland are subject to the following specific design guidelines, in addition to all the remaining relevant guidelines.
  - Properties shall provide pedestrian connections to the Coastal Trail
  - Hotels that provide a pedestrian friendly building frontage that faces the Coastal Trail;
  - All buildings shall be architecturally complete when viewed from the Coastal Trail;
  - All fences and walls should frame and protect views to coast;
  - All buildings shall be sided with natural or natural appearing materials that have been proven to perform in harsh coastal environments; and
  - All structures shall be of muted colors of natural tones.
3. Surface parking lots shall be screened with active building space, art, landscaping, etc. to provide a buffer between the public right of way and vehicles while still allowing for visibility. Delivery and loading areas should be located toward the rear of the property and screened to minimize impact on incompatible uses.

### *Preferred Standards*

1. Design of hotels and motels should draw upon the architecture of historic hotels in California for inspiration and design features, materials, and color.
2. For structures over two stories, access to guestrooms should be provided from the hallway interiors.
3. Roof forms typical of residential buildings such as gable, hip or shed roof combinations are strongly encouraged.
4. Parking, delivery and loading area, and mechanical equipment should be screened from parks and pedestrian oriented streets with buildings and landscaping.



*Hotels adjacent to the coastal trail are subject to additional design guidelines*

# Chapter 4: Industrial

## Architectural Form & Detail

### *Mandatory Standards*

1. Large unadorned and un-fenestrated wall expanses are permissible for industrial buildings. However, large expanses shall be broken up with expansion joints, reveals, and/or changes in texture, color or materials.
2. Large expanses of highly reflective surface and mirror glass exterior walls shall be avoided to prevent glare impacts on adjacent public streets and properties.
3. The mass and scale of large, box-like industrial buildings may be reduced through the incorporation of varying building heights and setbacks along the front and street side building façades.
4. Street side facades of large industrial buildings, that are visible from a public street, shall include architectural features such as reveals, windows, openings, and changes in color, texture, and material to add interest to the building elevation and reduce visual mass.
5. The following table identifies materials that are encouraged, acceptable, and discouraged for use on a buildings façade:

#### Encouraged

- Horizontal and vertical redwood or solid wood siding
- Shingle siding
- Stucco
- Fiber cement siding
- Other like materials

#### Acceptable

- Real brick and rock
- Board and batten
- Formed concrete

- Steel or other metals
- Glass block
- Concrete block
- Ceramic tile
- Other like materials

#### Discouraged

- T1-11 or other low quality wood siding
- Corrugated fiberglass
- Slump rock
- Highly tinted, reflective, or opaque glass
- Other like materials

### *Preferred Standards*

1. The mass and scale of large, box-like industrial buildings may be reduced through the incorporation of varying building heights and setbacks along the front and street side building façades.
2. Light industrial buildings in the Mill Site Light Industrial zoning district should have an industrial or contemporary architectural character that is consistent with the historic fabric of the Mill Site or the development patterns of the nearby skunk train industrial buildings.
3. Street side facades of large industrial buildings, that are visible from a public street, should include architectural features such as reveals, windows, openings, and changes in color, texture, and material to add interest to the building elevation and reduce visual mass.
4. Primary building entries should be readily identifiable and well defined through the use of projections, recesses, columns, roof structures, or other design elements.

## Accessory Buildings

### *Mandatory Standards*

1. Temporary buildings (e.g., portable modular units and shipping containers) shall not be visible from public streets or parks.
2. Modular buildings shall be skirted with material and color that is compatible with the modular unit and the main buildings on the site.

### *Preferred Standards*

1. The design of accessory buildings (e.g., security kiosks, maintenance buildings, and outdoor equipment enclosures) should be incorporated into and be compatible with the overall design of the project and the main buildings on the site.



*Temporary buildings shall not be visible from public streets*

## Landscape Design

### *Mandatory Standards*

1. When industrial/warehouse uses are located adjacent to less intense uses (e.g., residential or retail commercial), additional landscaping in conjunction with appropriate decorative walls and setbacks should be provided to mitigate potential adverse impacts.

### *Preferred Standards*

1. Landscape design should follow an overall concept and should link various site components together.
2. The use of trees and shrubs, near, and vines, on, walls to soften the appearance of buildings and walls and to deter graffiti is strongly encouraged.



*Use of landscaping is strongly encouraged*

## Walls & Fences

### *Mandatory Standards*

1. The colors, materials, and appearance of walls and fences, including walls for screening purposes shall be compatible with the overall design character/style of the development.
2. When security fencing is required adjacent to streets, it shall consist of wrought iron, tubular steel, wood fencing or similar materials.

### *Preferred Standards*

1. Walls and fences can be used to visually soften blank surfaces and to deter graffiti.



*Screening fencing shall consist of wrought iron, tubular steel, etc.*

## Outdoor Lighting

### *Mandatory Standards*

1. Outdoor lighting (e.g., location, height, and number) shall be designed to foster security. Site and building entries should have enhanced illumination to increase visibility and safety.

## Storage & Utility Equipment

### *Mandatory Standards*

1. Outdoor storage areas (for raw and finished goods) should be screened from views from the public right of way, where feasible.
2. If refuse storage areas, fuel tanks, generators, and fire check safety valves cannot be located out of public view, the design of these areas should incorporate architectural screening elements and landscaping compatible with the design of buildings and landscaping on the site.



*Outdoor lighting shall be designed to foster security*



## Chapter 5: Signs

### Overall Sign Guidelines

#### *Mandatory Standards*

1. Signs shall be designed to relate to the architectural features of the building on which they are located and create visual continuity with other storefronts on the same or adjacent buildings.
2. Signs shall coordinate with the building design, materials, color, size, and placement.

#### *Preferred Standards*

1. Signs that reflect the type of business through design, shape, or graphic form are encouraged.
2. Signs should coordinate with the building design, materials, color, size, and placement.



*Signage shall coordinate with the building design*

### Sign Legibility

#### *Preferred Standards*

1. Use a brief message. The fewer the words, the more effective the sign's message. A sign with a brief, succinct message is simpler and faster to read, looks cleaner, and is generally more attractive.
2. Encourage unique signs, but avoid typefaces that are too faddish or bizarre.
3. Use significant contrast. Generally, light colored letters and a darker, contrasting background presents the most visible and best-looking image.
4. Use symbols and logos. Pictographic images will usually register more quickly in the viewer's mind than a written message.
5. Signs, which advertise the occupant business through the use of graphic or crafted symbols, such as shoes, keys, glasses, or books, are encouraged. Figurative signs may be incorporated into any of the allowable sign types identified above.
6. Use easy to read lettering styles. Typefaces that are difficult to read reduce the sign's ability to communicate. Avoid spacing letters and words too close together.
7. Lettering shall not occupy more than 75 percent of the sign face.

## Sign Placement

### *Mandatory Standards*

1. Signs shall not project above the edge of the rooflines and should not obstruct windows and/or doorways.
2. The location and extent of signs and advertising shall not obstruct scenic views.

### *Preferred Standards*

1. Hanging signs attached to buildings that project perpendicular to the building are encouraged in pedestrian areas.
2. Signs should be placed at or near the public entrance to a building or main parking area to indicate the most direct access to the business.
3. Signs should be sized and placed consistent with the proportions of the building's façade. For example, a particular sign may fit well on an upper, more basic wall, but would overpower and obstruct the finer detail of a lower storefront area. A sign appropriate near the building's entry may look tiny and out of place above the ground level.
4. Signs should not cover or interrupt the architectural details or ornamentation of a building's façade.

## Sign Color

### *Mandatory Standards*

1. Bright day-glo (fluorescent) colors are prohibited as they are distracting.

### *Preferred Standards*

1. Three or fewer colors are encouraged on a single sign.
2. Contrast is an important influence on the legibility of signs. The most aesthetic and effective graphics are produced when light colored letters and images are placed on a dark contrasting colored background.



*Most aesthetic graphics are produced with light lettering and contrasting backgrounds*

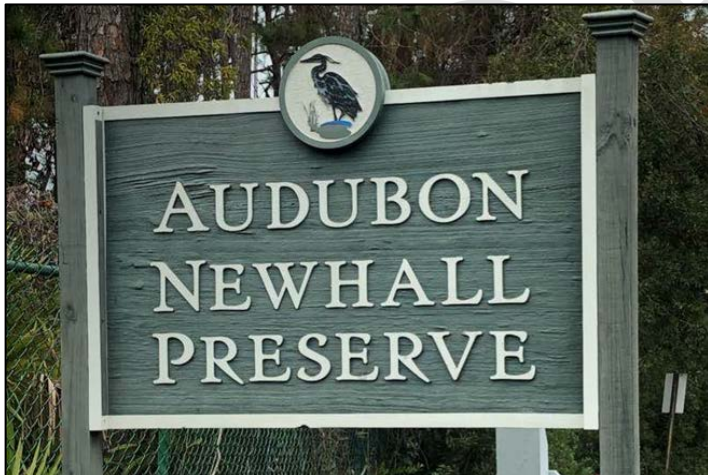
## Sign Materials

### Mandatory Standards

1. Sign materials shall be very durable. The following sign materials are encouraged for downtown Fort Bragg:
  - a. Wood (carved, sandblasted, etched, properly sealed and painted, or stained); Wood should be properly sealed to minimize moisture damage.
  - b. Metal (formed, etched, cast, engraved, and properly primed and painted or factory coated to protect against erosion)
  - c. Subtle custom neon tubing incorporated into sign or reminiscent of historic signs
2. Should a sign cabinet be made out of a plastic material, it shall emulate preferred sign materials (i.e. wood or metal).

### Preferred Standards

1. Sign materials should be selected with consideration for the architectural design of the building's façade. Sign materials should complement the materials on the façade and should contribute to the legibility of the sign.



*Example of a plastic sign emulating wood*

## Wall Signs

### Mandatory Standards

1. Wall signs shall not project from the surface upon which they are attached more than that required for construction purposes and in no case more than 6 inches.

### Preferred Standards

1. A wall sign should be located where the architectural features or details of the building suggest a location, size, or shape for the sign. The best location for a wall sign is generally a blank area between the first and second floors of a building.
2. Wall signs and "ghost" signs painted directly on a structure may be appropriate in some cases. On historic structures ghost signs often lend an air of age and authenticity.



*Example of an acceptable ghost sign*

## Sign Illumination

### *Mandatory Standards*

1. Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or adjacent residential units.
2. Internally-illuminated cabinet-type signs are discouraged. If internally illuminated cabinet signs are used, their sign panels should be opaque so that when illuminated only the lettering, not the background, is illuminated. The background or field should have a non-gloss, non-reflective finish. White and light backgrounds are prohibited for internally illuminated cabinet signs.
3. Blinking, rotating, flashing, changing, or reflecting lights are prohibited.
4. Electrical transformer boxes and raceways shall be concealed from public view. If a raceway cannot be mounted internally behind the finished exterior wall, the exposed metal surfaces of the raceway shall be finished to match the background wall, or integrated into the overall design of the sign. If raceways are necessary, they shall be as thin and narrow as possible and shall never extend in width or height beyond the area of the sign's lettering or graphics. All exposed conduit and junction boxes shall be appropriately concealed from public view.

### *Preferred Standards*

1. Indirect sign illumination is preferred.
2. Whenever indirect lighting fixtures are used, care shall be taken to properly shield the light source.
3. The use of backlit, individually cut letter signs is strongly encouraged for all types of business and signs, including monument-type signs.
4. Neon lighting is discouraged for the lettering of the sign except neon lettering that has a historic quality; innovative use of neon for images or logos may be appropriate.
5. Exterior sign light should be dimmed or turned off after 10PM when adjacent to residential sites.
6. Sign lighting should maintain a Kelvin color temperature below 4,500 Kelvin.



*Internally illuminated cabinet signs are discouraged*

## Projecting Signs

### *Mandatory Standards*

1. Projecting signs shall be used for ground floor uses only. On a multi-storied building, the sign should be suspended between the bottom of the second story windowsills and the top of the doors or windows of the first story.
2. Sign supports and brackets shall be compatible with the design and scale of the sign and the architectural design of the building. Decorative iron and wood brackets are encouraged.
3. Internal illumination of projecting signs is prohibited.

### *Preferred Standards*

1. Small, pedestrian-oriented signs are strongly encouraged. Projecting signs are especially appropriate in downtown Fort Bragg and Neighborhood Commercial developments.
2. Projecting signs should be hung at a 90-degree angle from the building face. The distance between projecting signs should be at least 25 feet.
3. Where overhangs or covered walkways exist, pedestrian-oriented hanging signs are encouraged.



*Projecting signs hung at 90 degrees and separated by 25'*

## Awning Signs

### *Mandatory Standards*

1. Backlit, internally illuminated awnings are prohibited.
2. Only permanent signs that are an integral part of the canopy or awning shall be used. Awning signs shall be painted directly on the awning.

### *Preferred Standards*

1. Awning signs are appropriate for ground and second floor uses.
2. Sign text should be located only on the valance portion of the awning. Letter color should be compatible with awning and building colors.
3. Materials intended for a coastal climate are encouraged.



*Prohibited awning sign*

## Window Signs

### *Mandatory Standards*

1. Window signs (permanent or temporary) shall not cover more than 20-percent of the area of each window.
2. The text or sign copy of a window sign shall be limited to the business name, and brief messages identifying the product or service (e.g. "maternity wear" or "attorney"), or pertinent information (e.g. "reservations required").

### *Preferred Standards*

1. Window signs should be individual letters placed on the interior surface of the window and intended to be viewed from outside. Glass-mounted graphic logos are also appropriate.



Window signs shall be limited to the business name and brief messages identifying the product or service

## Monument Signs

### *Mandatory Standards*

1. Monument signs may be internally illuminated, however, the sign copy shall be the only portion of the sign face that is illuminated. The sign background or field shall be opaque with a non-gloss, non-reflective finish. Signs with individual back-lit letters, or stenciled panels with three-dimensional push-through graphics are encouraged.
2. Monument signs shall be placed perpendicular to the street.
3. Monument signs shall be placed so that sight lines at entry driveways, pedestrian thoroughways, and circulation aisles are not blocked.
4. Monument signs shall be designed to create visual interest and compliment their surroundings. Monument signs shall incorporate architectural elements, details, and articulation as follows:
  - a. Provide architectural elements on the sides and top to frame the sign pane(s). Use columns, pilaster, cornices, and similar details to provide design interest.
  - b. Incorporate materials and colors into the sign support structures to match or be compatible with materials and colors of the development the sign serves so it does not appear out of scale with its adjacent building(s).
5. Monument signs shall incorporate landscaping at their base. Landscaping around monument signs should be designed to ensure the long-term readability of the sign.

### *Preferred Standards*

1. Freestanding monument signs (on ground) are strongly encouraged over pole signs.

## Pole Signs

### *Mandatory Standards*

1. Pole-mounted signs are discouraged for parcels with less than 100 feet of street frontage as such signs would typically be out of scale with smaller parcels and would allow tall signs too close together, which would disrupt visibility.
2. Pole signs shall incorporate architectural elements into the sign portion of the sign as well as the supporting structure.
3. Pole signs may be internally illuminated, however, the sign copy shall be the only portion of the sign face that is illuminated.
4. Pole signs shall incorporate a landscaped area at the base of the sign equal to one to two times the size of the sign face.
5. Pole signs are prohibited in the Central Business District.



*Pole signs shall incorporate a landscaped area at the base*



CITY OF FORT BRAGG

# CITY WIDE DESIGN GUIDELINES

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April 2019





**Planning Commission**

**Nancy Rogers, Chair**

**Stan Miklose, Vice Chair**

**Jay Andreis,**

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**Michelle Roberts**

**City Council**

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# Introduction

## 1. PURPOSE

These guidelines present comprehensive design criteria for the achievement of functional and attractive developments that fit within the character for Fort Bragg. In general, the guidelines are intended to:

- Ensure that new or modified development preserves or improves the positive characteristics of the City’s image;
- Avoid design mistakes and design “shocks”;
- Help ensure stability and predictability in the community’s change and growth;
- Help achieve what zoning and other regulations cannot achieve – to guide the qualitative aspects of new development.

The intent is not to impose an overriding style, limited color palette, or artificial theme.

The City also recognizes the importance of innovation, exceptional and truly place making design which may fall outside of a design criteria approach in these guidelines. Many major architectural achievements throughout the world would not comply with these guidelines. Thus the guidelines create both a floor (minimum design) as well as a ceiling (best design) which may inhibit truly innovative design. In response, the City Council has created a path to exempt a project from compliance with the details of these guidelines, if the project achieves a truly innovative and exceptional design level under Policy CD-2.2 of the General Plan.

*Policy CD-2.2: City Wide Design Guidelines and Exceptional Design. Projects which offer exceptional or innovative design may be exempted from the requirements of the Citywide Design Guidelines, through a public hearing and affirmative decision by the City Council. This decision could be made prior to consideration of the Coastal Development Permit, Use Permit and CEQA document for the project as the exemption would not be considered approval of a permit for the project.*

Because these are minimum guidelines and each project is different, they do not contain all possible techniques for achieving the quality of development desired by the City. Situations may arise that are not covered by the guidelines; therefore, project designers are encouraged to follow the “principles” that the guidelines represent and to use creativity in meeting the City’s expectations for quality development as expressed through the guidelines.



### 3. ORGANIZATION OF THE CITYWIDE DESIGN GUIDELINES

The design guidelines are organized into the following chapters:

1. **Introduction:** Provides an overview of the purpose, organization, applicability, and other aspects of the design guidelines.
2. **General Design Guidelines:** Presents general and specific design guidance for all commercial and multifamily projects, including:
  - Massing, Elevations and Articulation; Architectural Form and Detail; Roof Form;
  - Windows, Doors and Entries; Materials & Colors; Lighting;
  - Site Planning; Landscape; Fencing & Screening; Open Space; Site Amenities;
  - Pedestrian Circulation; Vehicular Circulation & Parking; Loading & Delivery;
  - Additions, Remodels and Renovations; and
  - Garages and Ancillary Structures.
3. **Central Business District & Neighborhood Commercial Design.** Presents general and specific design guidance for all development in the Central Business District and Neighborhood Commercial Zoning Districts. Buildings located in these districts must comply with both the General Design Guidelines and these guidelines specific to these historic districts.
4. **Specific Use Commercial Design Guidelines.** Presents general and specific design guidance for specific use types including: Auto Repair Services, Service Stations, Drive-Through Businesses, Hotels and Motels, Mixed Use Development and Parking Structures. These use types must comply with those section of the General Design Guidelines which are relevant to the use type and the guidelines specific to the design challenges of the use type.
5. **Industrial Design Guidelines.** Provides design guidelines for industrial uses.
6. **Residential Design Guidelines.** Presents specific design guidance for new single family neighborhoods and multi-family developments. Residential development projects of more than three units must comply with both the General Design Guidelines and these guidelines specific to residential projects.
7. **Sign Design Guidelines.** Describes general design guidelines for all signs in Fort Bragg and then provides more detailed guidance for specific sign types. An “M” indicates that the guideline is mandatory and an “E” indicates that the guideline is encouraged for signs of various sizes.

#### 4. THE DESIGN REVIEW PROCESS - INTERPRETATION AND APPLICATION OF THE DESIGN GUIDELINES

The design guidelines in this manual will be applied as part of the City’s review of proposed projects (additions, remodeling and new construction) through the design review process (Section 18.71.050 & 17.71.050) as defined by the City of Fort Bragg Development Code. The design elements of each project (including site design, architecture, landscaping, signs, and parking design) will be reviewed on a comprehensive basis by the applicable review authority.

During the design review process, the review authority may interpret these design guidelines with some flexibility in their application to specific projects, as not all design criteria may be workable or appropriate for each project. In some circumstances, one guideline may be relaxed to facilitate compliance with another guideline determined by the review authority to be more important in that particular case. The overall objective is to ensure that the intent and spirit of the design guidelines are followed.

#### 5. THE DESIGN REVIEW PROCESS – REQUIRED FINDINGS

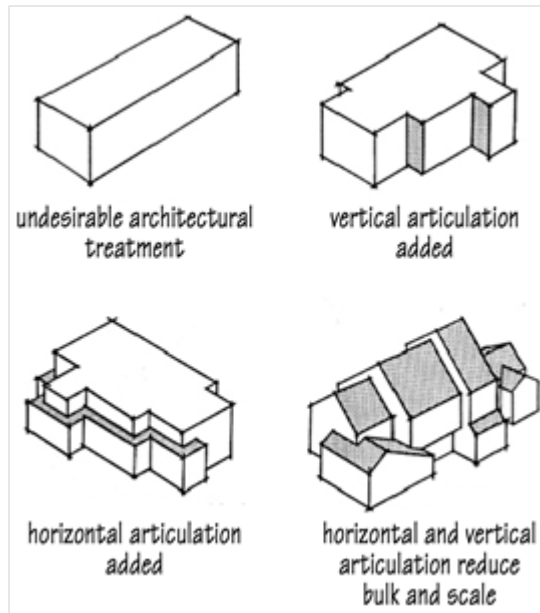
Per the Land Use and Development Code, the Planning Commission must first make the following findings for all projects subject to Design Review:

**Project review criteria.** The review authority shall evaluate each application to ensure that the project:

1. Complies with the purpose and requirements of this Section;
2. Provides architectural design, building massing, and scale appropriate to and compatible with the site surroundings and the community;
3. Provides attractive and desirable site layout and design, including building arrangement, exterior appearance and setbacks, drainage, fences and walls, grading, landscaping, lighting, signs, etc.;
4. Provides efficient and safe public access, circulation, and parking;
5. Provides appropriate open space and landscaping, including the use of water efficient landscaping;
6. Is consistent with the General Plan, any applicable specific plan, and the certified Local Coastal Program; and
7. Complies and is consistent with the City’s Design Guidelines.



Design Guidelines: All Commercial and Multi-Family Residential Development	Project Size ( SF)	
<b>Massing, Elevations &amp; Articulation</b>  M=Mandatory, P=Preferred	<5,000 SF	>5,000 SF Design Sensitive Areas
<ul style="list-style-type: none"> <li>Structures should be well articulated on all sides visible from public streets and spaces. The highest level of articulation occurs on the front façade, and on all elevations visible from the public right of way. This includes variation in massing, roof forms, and wall planes, as well as surface articulation. Avoid boxy and monotonous facades that lack human scale dimensions and have large expanses of flat blank wall planes visible to the public.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>The scale of buildings shall relate to the surrounding development patterns. Buildings with greater height than surrounding buildings should step back the structure on the upper floors from street and public spaces to lessen the appearance of mass and bulk.</li> </ul>	M	M
<ul style="list-style-type: none"> <li><b>All development adjacent to the Coastal Trail (Noyo Headlands Park) should step back the structures on the upper floor from the side of the building that is adjacent to the Coastal Trail. Roof decks and balconies that overlook the coastal trail should be unobtrusive.</b></li> </ul>	P	M
<ul style="list-style-type: none"> <li>Architectural elements that add visual interest, scale, and character such as projecting balconies, trellises, recessed windows, and window and door detailing are incorporated to help articulate facades and blank walls.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Architectural details and materials shall be incorporated on the lower part of the building facade to relate to human scale. These pedestrian scale elements can include awnings, trellises, windows, building base articulation, and changes in materials, textures, and colors.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Avoid large monolithic structures. Emphasize compact building design. Clusters of smaller buildings are preferred over larger single structures.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Varied building should heights provide visual interest and give the appearance of a collection of smaller structures.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Break up large building forms by vertical and horizontal variations in wall and roof planes, building projections, projecting ribs, reveals, door and window bays and similar design elements. To divide the building mass into smaller scale components, building faces over 50 feet long should reduce the perceived mass and bulk by one or more of the following: change of roof or wall plane; projecting or recessed elements, such as trellises, balconies, openings, etc.; varying cornice or rooflines; or other similar means.</li> </ul>	P	p
<ul style="list-style-type: none"> <li><b>All building and site design shall use passive solar design strategies for space heating and lighting to reduce energy demand to the extent feasible.</b></li> </ul>	P	M



*Without architectural variations buildings appear flat, larger, and "box like"*



*Use a variety of architectural elements to create visual interest and reinforce pedestrian scale*



*Overhangs create visual appeal*



*Desirable rear entrance enhancements*



Architectural Form and Detail	<5,000 SF	>5,000 SF & DSA
<ul style="list-style-type: none"> <li>Commercial development shall include a higher level of architectural detailing and higher quality materials at the pedestrian level of the building.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Incorporate design elements and features from the historic architectural styles of the Central Business District.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Include architectural elements such as bay windows, porches, projecting eaves, awnings, and similar elements that add visual interest to the development.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>All elevations should be detailed with the same care and attention, and preferably using the same materials, as the front elevation.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Architectural style is compatible with the surrounding character, including building style, form, size, materials, and roofline.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>The integration of varied textures, openings, recesses, and design accents on building walls is to soften the architecture.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>The use of awnings, canopies, recesses, and arcades is strongly encouraged to provide protection for pedestrians and to add interest and color to buildings. Awning placement should fit within the scale, proportion, and rhythm created by the distinct architectural elements and should not cover piers, pilasters and other architectural details. Awnings should be compatible in color and design with the buildings. Awning frames and supports should be painted or coated metal or other non-corroding material and designed to withstand wind loads. <b>Prefabricated plastic and vinyl awning are not permitted. Canvas awnings are discouraged due to the potential for wind damage.</b></li> </ul>	P	P
<ul style="list-style-type: none"> <li>Franchise architectures is strongly discouraged. Buildings should be readily reusable by other tenants and should not be identified with a design that is specific to a franchise.</li> </ul>	M	M
<b>Roof Form</b>		
<ul style="list-style-type: none"> <li>Roof forms should be used to distinguish various building forms, create an interesting roof line, and help break up the building massing.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Roof forms such as gable, hip or shed roof combinations are strongly encouraged. If parapet roofs are used they should include detailing typical of Fort Bragg's character and design. <b>Special care should be exercised in designing how the roof frames or meets the sky, which may include but not be limited to: use of false fronts, architectural detailing, and roof overhangs.</b></li> </ul>	P	M
<ul style="list-style-type: none"> <li>Buildings shall incorporate passive solar design and include at least one roof plane that is large enough to accommodate photovoltaic (PV) panels to meet the majority (&gt;50%) of the building's energy needs, when feasible.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Deep roof overhangs are encouraged to create shadow and add depth to facades. Where applicable to the architectural style, roof eaves should extend at least 12" from primary wall surface to enhance shadow lines and articulation of surfaces and protect from driving rain. <b>Smaller roof overhangs are permissible with rain screen or other technologies.</b> Roof overhangs should be designed to facilitate passive solar heating.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Exposed structural elements (beams, rafter tails, etc.) are encouraged as roof overhang details.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>All roof-mounted equipment should be effectively and attractively screened through the use of various architectural detailing including, but not limited to, roof form, decorative parapets or cornices <b>that match the architectural character and materials of the building.</b></li> </ul>	M	M
<ul style="list-style-type: none"> <li>Natural and non-reflective roof materials are encouraged. Green roofs (planted with native plantings) are encouraged.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Highly reflective materials shall be avoided.</li> </ul>	M	M
<ul style="list-style-type: none"> <li><b>Balconies, roof gardens and roof decks shall be designed to minimize impacts on privacy in neighboring buildings and lots.</b></li> </ul>	M	M



*Varied roof forms, projecting balconies, and awnings help divide building mass into smaller components*



*Building height should not step more than one story*



*Decorative parapets and varied roof line*

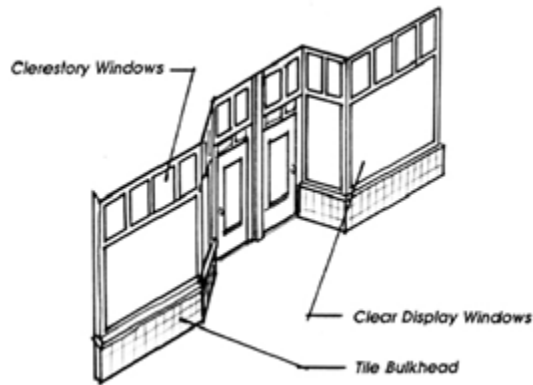


*Roof forms and architectural elements help reduce building mass*

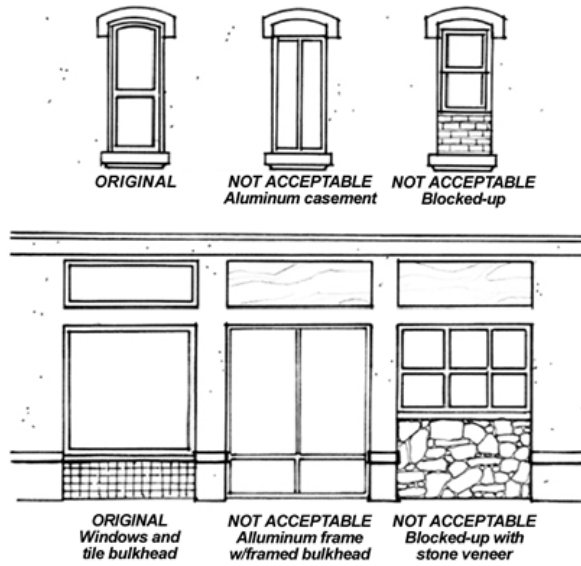
<b>Windows, Doors, and Entries</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>The size and location of doors and windows should relate to the scale and proportions of the overall structure.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>The main building entrance should be distinguished from the rest of the building and easily recognizable and oriented toward the street whenever possible. Front doors should always be oriented toward the sidewalk. Individual entries should have a strong relationship with a fronting street, internal walkway, or courtyard, as appropriate to the overall siting concept.</li> </ul>	p	M
<ul style="list-style-type: none"> <li>Front entry design should incorporate two or more of the following: front porch or stoop; recessed doors, archways, or cased openings; canopies; decorative detailing or placement of art; a projecting element above the entrance; integration of architectural elements such as flanked columns or decorative fixtures; changes in the roofline or a tower feature.</li> </ul>	P	M
<ul style="list-style-type: none"> <li><b>Buildings located on corners in pedestrian areas should provide for visibility around the corner, by either including windows on both walls that intersect at the corner or an angled corner entryway.</b></li> </ul>	M	M
<ul style="list-style-type: none"> <li>Exterior stairways are discouraged, where required they should be open to allow views for natural surveillance.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Window and door type, material, shape, and proportion should complement the architectural style of the building.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Windows should be provided at storefront locations.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>In general, upper stories should have a window to wall area proportion that is smaller than that of ground floor storefronts (typically 30 to 50 percent).</li> </ul>	p	P
<ul style="list-style-type: none"> <li>Windows should be articulated with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.</li> </ul>	p	M
<ul style="list-style-type: none"> <li>Glass that is inset a minimum of three inches from the exterior wall surface is encouraged to add relief to the wall.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>The use of clear glass (at least 80% light transmission) is recommended. Dark tinted glass and reflective mirror-like glass are not allowed.</li> </ul>	M	M
<ul style="list-style-type: none"> <li><b>Imitation and/or fake divided lights are discouraged on the pedestrian level of buildings.</b></li> </ul>	P	P



Building Base, color tile, recessed window, and awning relate to human scale



WINDOW REPLACEMENT



Shed awning is consistent with rectilinear building form Encouraged



Awning in scale with façade Encouraged

Round awning is not consistent with rectilinear building form Discouraged



Storefront entries should be identified by unique architectural details

Materials	<5,000 SF	>5,000 SF or Sensitive Design Areas						
<ul style="list-style-type: none"> <li>All structures should appear to be made of high quality, authentic, and timeless materials.</li> </ul>	M	M						
<ul style="list-style-type: none"> <li>Building materials should be durable and low maintenance to withstand the coastal environment. Materials should be of comparable or better quality and image to what is used in the surrounding area.</li> </ul>	M	M						
<ul style="list-style-type: none"> <li>Materials should be varied to provide architectural interest, however, the number of materials and colors should be limited and not exceed what is required for contrast and accent of architectural features. Exterior materials and architectural details should relate to each other in ways that are traditional and logical.</li> </ul>	P	P						
<ul style="list-style-type: none"> <li>The use of green building and sustainable materials is encouraged to exceed the minimum required by the California Building Code.</li> </ul>	P	P						
<ul style="list-style-type: none"> <li>Materials should enhance different parts of a building's façade and be consistent with the desired architectural style.               <ul style="list-style-type: none"> <li>Where appropriate to the architectural style, materials and textures should vary between the base and body of a building to break up large wall planes and add visual base to the building.</li> <li>Heavier materials and darker colors should be used lower on the building elevation to form the building base.</li> <li>Exterior columns or supports for site elements, such as trellises and porches, should utilize materials and colors that are compatible with the rest of the development.</li> </ul> </li> </ul>	p	M						
<ul style="list-style-type: none"> <li>Material changes should occur at intersecting planes, preferably at inside corners of changing wall planes or where architectural elements intersect such as a chimney, pilaster, projection, or fence line.</li> </ul>	P	P						
<ul style="list-style-type: none"> <li>The following table identifies materials that are encouraged, acceptable and discouraged for use on a building's façade:           <table border="1" data-bbox="228 781 1549 1206"> <thead> <tr> <th data-bbox="228 781 642 816">Encouraged</th> <th data-bbox="642 781 1094 816">Acceptable</th> <th data-bbox="1094 781 1549 816">Discouraged</th> </tr> </thead> <tbody> <tr> <td data-bbox="228 816 642 1206"> <ul style="list-style-type: none"> <li>Horizontal and vertical redwood or solid wood siding</li> <li>Shingle siding</li> <li>Smooth stucco, hand troweled stucco</li> <li>Fiber cement wood siding with an authentic appearance, <b>profile &amp; dimension</b></li> <li>Other like materials</li> </ul> </td> <td data-bbox="642 816 1094 1206"> <ul style="list-style-type: none"> <li><b>Real brick, rock veneer, stone or similar materials with an authentic texture, color and dimension</b></li> <li>Board and batten</li> <li>Formed concrete</li> <li>Steel</li> <li>Glass block</li> <li>Corrugated Metal</li> <li>Other like materials</li> <li><b>Fiber cement with wood siding and an authentic appearance</b></li> </ul> </td> <td data-bbox="1094 816 1549 1206"> <ul style="list-style-type: none"> <li>T1-11 or other low quality wood siding</li> <li>Textured/rough stucco</li> <li>Corrugated fiberglass</li> <li>Concrete block</li> <li>Ceramic tile (except for accent areas);</li> <li>Slump rock</li> <li>Highly tinted, reflective, or opaque glass</li> <li>Silver aluminum window and door frames</li> <li>Other like materials</li> </ul> </td> </tr> </tbody> </table> </li> </ul>	Encouraged	Acceptable	Discouraged	<ul style="list-style-type: none"> <li>Horizontal and vertical redwood or solid wood siding</li> <li>Shingle siding</li> <li>Smooth stucco, hand troweled stucco</li> <li>Fiber cement wood siding with an authentic appearance, <b>profile &amp; dimension</b></li> <li>Other like materials</li> </ul>	<ul style="list-style-type: none"> <li><b>Real brick, rock veneer, stone or similar materials with an authentic texture, color and dimension</b></li> <li>Board and batten</li> <li>Formed concrete</li> <li>Steel</li> <li>Glass block</li> <li>Corrugated Metal</li> <li>Other like materials</li> <li><b>Fiber cement with wood siding and an authentic appearance</b></li> </ul>	<ul style="list-style-type: none"> <li>T1-11 or other low quality wood siding</li> <li>Textured/rough stucco</li> <li>Corrugated fiberglass</li> <li>Concrete block</li> <li>Ceramic tile (except for accent areas);</li> <li>Slump rock</li> <li>Highly tinted, reflective, or opaque glass</li> <li>Silver aluminum window and door frames</li> <li>Other like materials</li> </ul>	M	M
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Colors	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>Colors should enhance different parts of a building's façade and be consistent with the desired architectural style.</li> </ul>	P	P
<ul style="list-style-type: none"> <li><b>Colors along the coast should recede in the view shed or be subordinate to the view shed. Dark earth tone colors are preferred where the view shed is dark and lighter earth tone colors may be preferred where the background is lighter.</b></li> </ul>		
<ul style="list-style-type: none"> <li>Colors should visually relate building elements to each other, and also individual facades to each other. The colors chosen for a building façade should complement neighboring facades (but should not replicate).</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Color should be used as an important design element in the development's appearance. Historically, certain color palettes were associated with particular architectural styles. Whenever possible, exterior building colors should reflect the basic colors of the architectural style or period of the building or its environs. For example, bright and rich color combinations associated with the Victorian Era are appropriate downtown. However, in the coastal zone color pallet should focus on <b>earth tone</b> colors. Bright and sharply contrasting colors should be avoided.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Colors used on exterior facades should be harmonious and contrasting compatible colors are encouraged to accentuate details such as trim, windows, doors, and key architectural elements.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>No fewer than two colors should be used on any given façade, and three or more colors are preferred. This includes any "natural" colors such as unpainted brick or stone. The three preferred colors should constitute the: Primary base color, Secondary color and Minor trim color.</li> </ul>	P	P



*Materials and colors support the architectural style*



*Secondary color adds emphasis to architectural details*

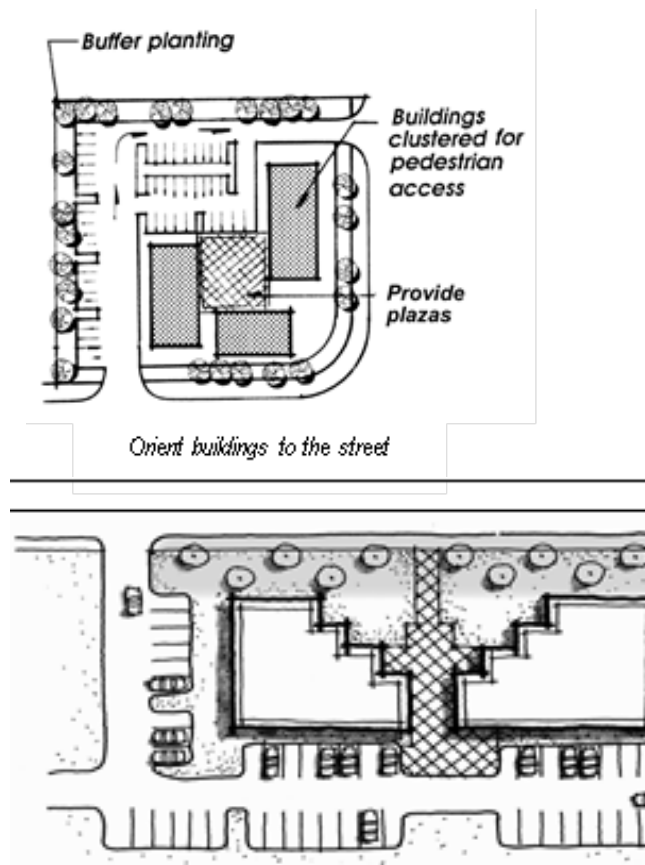


*Wood siding is the predominant downtown building material*



<b>Lighting</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>▪ Exterior lighting should be designed as part of the overall architectural style of the building and should illuminate entries, driveways, walkways, and activity areas.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Entrances should be well illuminated for safety and identification purposes.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Lighting sources should be hidden unless the sources are an integral part of the design. Lighting fixtures should not project above the fascia or roofline of the building.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Partial or full cutoff lighting is required. Exterior lighting shall be located and designed to avoid shining directly onto nearby residential properties, and shall minimize off-site glare. The latest technical and operational energy conservation concepts should be considered in lighting designs.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Subtle and minimalist lighting may be used to accent architectural features and landscaping. Accent lighting should not contribute to glare or distract from the overall ambient night lighting in the neighborhood.</li> </ul>	P	P
<b>Site Planning</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>▪ Buildings should be sited in order to minimize impacts to surrounding development and open space. Care should be taken to place structures well to minimize impacts to natural areas and natural contours.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>▪ Buildings should generally be oriented toward the street. Buildings on corner parcels should establish a strong tie to both streets.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>▪ All building and site design shall use passive solar design strategies for space heating and lighting to reduce energy demand to the extent feasible.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Climate factors such as prevailing winds, window and door orientation, and the positioning of buildings on the site should be coordinated to maximize energy conservation and Photovoltaic (PV) access.</li> </ul>	P	M
<b>Landscape</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>▪ Landscaping should enhance the character and sense of place for each project. Landscaping should help complete the design of a site and should not be added as an afterthought. The choice, placement, and scale of plants should relate to the architectural and site design of the project. Landscaping should enhance the quality of the development by framing and softening the appearance of buildings, screening undesirable views and equipment, providing buffers from incompatible uses, and providing protection from wind and rain. Landscaping should be in scale with adjacent buildings and be of appropriate size at maturity.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Landscaping should generally incorporate plantings utilizing a three-tiered system: ground covers (including flowering plants – annuals and perennials), shrubs/vines, and trees. The following landscape design concepts are encouraged for project design: <ul style="list-style-type: none"> <li>○ Use of specimen trees (36-inch box or larger) in groupings and rows in parking lots</li> <li>○ Use of flowering vines on walls and arbors where appropriate</li> <li>○ Use of berms and vines on walls to screen parking, refuse, storage, and equipment areas</li> </ul> </li> </ul>	P	P

▪ Landscaping designs that do not require irrigation systems are preferred. Projects that include irrigation shall emphasize water-efficient plants. Rainwater and greywater are encouraged to meet all irrigation needs.	P	P
▪ Bio-swales and rain gardens should be utilized within landscaped areas to infiltrate stormwater on site.	P	P
▪ Planting should be used to screen less desirable areas from public view; i.e., any solid, windowless elevations, trash enclosures, propane tanks, parking areas, storage areas, loading areas, public utilities, and mechanical equipment.	P	P
▪ Landscaping that defines and accents specific areas such as building entry, parking lot entrances and the main walkways to community facilities is encouraged.	P	M
▪ Trees and plants native to the Northern California coast or those, which flourish in the region, should be selected when possible. Plant materials should also be selected for their low maintenance qualities.	P	P
▪ Trees located along street frontages should be selected to match or complement existing or proposed street trees in the public right-of-way.	P	P
▪ Plants and trees with root systems that uplift hardscape materials should be appropriately located away from paved and concrete areas.	M	M
▪ Landscaping on parcels that are adjacent to the Coastal Trail shall use native plants. Invasive plants are prohibited.	M	M



Example of three-tiered perimeter landscaping



<b>Fencing &amp; Screening</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>Fences should be kept as low as possible while still performing their intended security, screening, or separation functions.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Fencing materials and colors of fences and walls should be consistent and compatible with the architectural themes on the site. Open, wooden fencing is the preferred fencing material for Fort Bragg.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Fences or walls of more than 100 ft should provide variation in the design – via changes in height, materials, embellishments, step backs, gates, etc. - to break up the length and provide visual interest.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Screening should not result in hiding places or entrapment areas.</li> </ul>	M	M
<b>Open Space &amp; Pedestrian Circulation</b> Common open space provides opportunities for casual social interaction, as well as helping to reduce the perceived density of the development. Private open space serves as an outdoor rooms for tenants.	<5,000 SF	>5,000 SF of Sensitive Design Areas
<ul style="list-style-type: none"> <li>Courtyards, public space, <b>plazas</b>, and landscaped areas are encouraged.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Open space areas should be sheltered from the noise and traffic of adjacent streets or other incompatible uses. Open space siting should give consideration to prevailing breezes and sun orientation in order to provide a comfortable environment.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Ideally, at least 50 percent of the open space area should have access to direct sunlight.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Shelters are encouraged to provide protection from inclement weather.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>In commercial areas, open spaces and passages should be inviting, well lit, and accessed from multiple locations.</li> </ul>	P	P
<b>Site Amenities</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>Where bus routes are located near the development, the site design should consider convenience and comfort factors for users. These include direct access, widened sidewalks, seating areas, and weather protection provided near public transit stops.</li> </ul>	-	P
<ul style="list-style-type: none"> <li>Pedestrian amenities (benches, shelters, drinking fountains, lighting, trash receptacles, and bicycle racks) are strongly encouraged.</li> </ul>	-	P
<ul style="list-style-type: none"> <li>Pedestrian activity areas should provide a sufficient level of wind and rain protection for pedestrians. Canopies, trees, or other methods of protection should be provided.</li> </ul>	-	P
<ul style="list-style-type: none"> <li>Trees and public art should also be incorporated into courtyard, plaza, and mid-block passage design.</li> </ul>	-	P
<ul style="list-style-type: none"> <li>The relative size and design of private street furniture should be compatible with the architectural style of the building to which it relates, while also complementing street furniture in the public realm. Street furniture should be constructed of durable, easily maintained materials that will not fade, rust, or otherwise quickly deteriorate.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Decorative paving is encouraged for entryways, courtyards, plazas, pedestrian walkways, and crosswalks. Paving materials should complement the architectural design of the building and landscape design: stamped concrete, stone, brick, pavers, exposed aggregate, and colored concrete are recommended.</li> </ul>	P	P

<ul style="list-style-type: none"> <li>Clear legible entry signs should be provided to identify the development. Internal circulation signs and visitor parking areas should also be clearly indicated. A directory that shows the location of buildings and individual dwelling units within the development is encouraged.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Building numbers and individual unit numbers should be readily visible, in a consistent location, well lighted at night, and compatible with the overall design of the development.</li> </ul>	M	M
<b>Pedestrian Circulation</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li><b>Pedestrian walkways should connect common areas (parking, open space, playground, etc.) to site buildings, sidewalks and adjacent parks.</b></li> </ul>	P	M
<ul style="list-style-type: none"> <li>A continuous, clearly marked walkway should be provided from the parking areas to main entrances of buildings. Design walkways and parking lots so that pedestrians will not have to cross parking aisles and landscape islands to reach building entries.</li> </ul>	p	M
<ul style="list-style-type: none"> <li>On-site drop-off areas should be adjacent and parallel to streets and/or drive aisles to allow vehicles to get out of the main flow of traffic and stop. These include bus stops and pedestrian pick-up/drop-off areas</li> </ul>	-	M
<ul style="list-style-type: none"> <li>Convenient pedestrian connections should be provided to adjoining developments, commercial projects, and other compatible land uses.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Pedestrian access to adjacent existing or planned open space areas and corridors should be provided for the development's users.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Raised walkways, decorative paving, landscaping, and/or bollards that separate pedestrians from vehicular circulation are encouraged.</li> </ul>	P	P



*Create neighborhood gathering spaces through plazas, landscaping, and amenities*

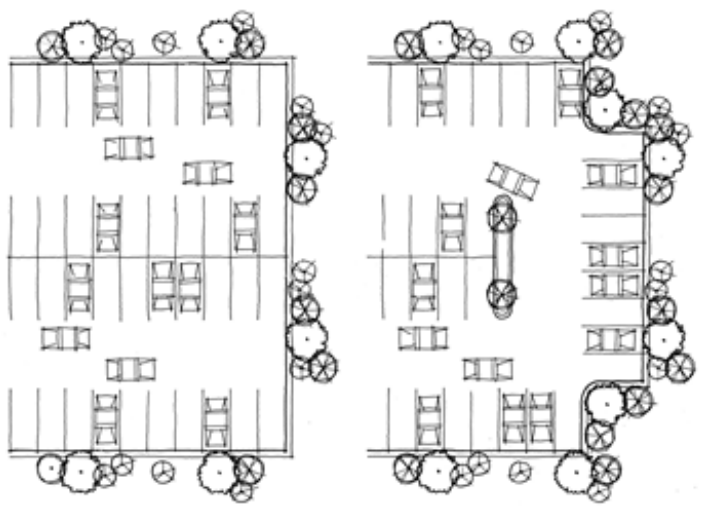
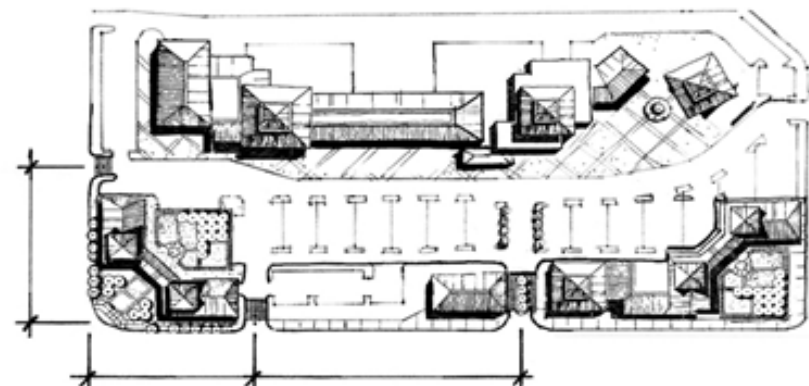


*Incorporate outdoor furniture and planters into development*



*Trellis provides continuity with surrounding architectural elements*

<b>Circulation and Parking</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
Safe and efficient parking and circulation arrangements take into consideration the needs of pedestrians, children at play, parking lot appearance, and prevention of car theft or damage.		
<ul style="list-style-type: none"> <li>Consolidation of parking in larger lots that serve many uses is preferred for larger projects and the Mill Site, to encourage a more pedestrian friendly development pattern.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Parking lots should be well designed, with consideration given to landscaping, lighting, building massing, and pedestrian/vehicular circulation.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Locate parking lots to the rear of buildings, along alleys, or on side streets to avoid conflicts on major streets. When this is not possible, design the primary entry to the lot with patterned concrete or pavers to differentiate it from the sidewalk.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Parking areas should be linked to adjacent public sidewalks, pedestrian walkways, alleys, and open space areas.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Parking should be designed for safe ingress and egress. Site plans should balance the need to provide adequate vehicular access with the need to eliminate unnecessary driveway entrances. Where feasible, reciprocal access should be provided on adjacent sites.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Pedestrian connections and linkages within parking lots should have a well-defined separation from vehicle circulation.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Parking lots shaded with solar panels are encouraged.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Pedestrian access from parking lots to building entries should be defined in the design of the parking lots, creating clear and visible walkways. In addition, walkways should be landscaped with shade trees or shrubs and other pedestrian amenities. Pedestrian connections should connect parking area to sidewalk through buffer areas at key locations.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>The use of brick, interlocking pavers, cobblestones and or permeable paving for drive isles and parking lots are encouraged.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Parking areas should be divided into a series of small parking courts with convenient access that relates to adjacent buildings/entrances.</li> </ul>	-	M
<ul style="list-style-type: none"> <li>Special accents that define the main parking lot entry are strongly encouraged. Examples include entry signage with name of project, specialty lighting, textured paving, and accent landscaping.</li> </ul>	-	P
<ul style="list-style-type: none"> <li>Dead-end aisles are strongly discouraged.</li> </ul>	-	P
<ul style="list-style-type: none"> <li>Parking lot lighting fixtures shall be no taller than 16 feet in height and shall cast light downward without allowing glare or light to encroach upon neighboring properties.</li> </ul>	M	M
<b>Loading and Delivery</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>Loading and delivery service areas should be located and designed to minimize their visibility, circulation conflicts, and adverse noise impacts to the extent feasible.</li> </ul>	-	M
<ul style="list-style-type: none"> <li>Loading and delivery areas should be screened with portions of the building, architectural wing walls, freestanding walls and/or landscaping planting.</li> </ul>	-	M



*INAPPROPRIATE: dead-end aisles should not be used*

*APPROPRIATE: design of parking should facilitate ease of vehicle movement*



*Create safe and identifiable pedestrian paths through parking lots*

<b>Additions, Remodels &amp; Renovations</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>▪ The design of a proposed addition should follow the general scale, proportion, massing, and detailing of the original structure. New additions should be interpretations of, or improve upon, the design of the existing structure wherein the main characteristics of the existing building are incorporated or improved upon using modern construction methods. This may include:               <ul style="list-style-type: none"> <li>○ Using similar proportions</li> <li>○ Extending the architectural lines from the existing building to the addition</li> <li>○ Sensitivity to the patterns of window and entrance spacing and openings</li> <li>○ Harmonizing with existing colors and materials</li> <li>○ Inclusion of similar architectural details (i.e. window/door trim, lighting fixtures, decoration)</li> </ul> </li> </ul>	M	M
<ul style="list-style-type: none"> <li>▪ Building materials used for the addition should be of the same or better quality than the existing building.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ When original decorative details and architectural elements were covered up in previous remodeling, these forgotten details should be restored and incorporated in the design of the remodeled building.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Damaged historic architectural features should be repaired rather than replaced whenever possible. If replacement is necessary, new materials should match the original material being replaced in terms of color, texture, and other important design features. Likewise for historic building, existing building elements and materials that are incompatible with the original design of the building should be removed. These include inappropriate use of exterior embellishments and modernized elements that are in sharp contrast to the building's original design.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Introducing or changing the location, size, or style of windows or other openings that alter the architectural rhythm or character of the original building is discouraged.</li> </ul>	P	P
<b>Garages and Ancillary Structures</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>▪ Accessory structures should be complementary in form, material, and color to the primary buildings.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ The number of accessory structures shall be minimized; uses shall be combined where possible into one accessory structure.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>▪ Refuse and recycling storage areas, propane and heating fuel tanks, fire check valves, and other mechanical features should be:               <ul style="list-style-type: none"> <li>○ Located in convenient and less visible areas of the site, such as inside parking courts, or at the end of parking bays.</li> <li>○ Well screened in compliance with requirements of the Development Code. Screening should be of the same type of material as, or complementary to, the material used on the main building. Landscaping should be provided where possible.</li> </ul> </li> </ul>	P	M



*The addition is on the left and to the back of an older building*



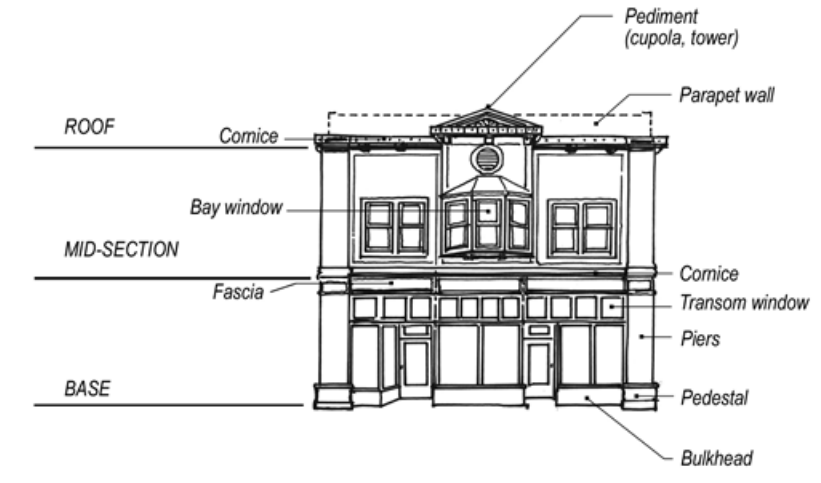
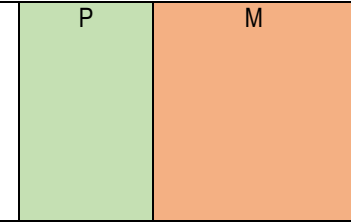


## Central Business District & Neighborhood Commercial Design

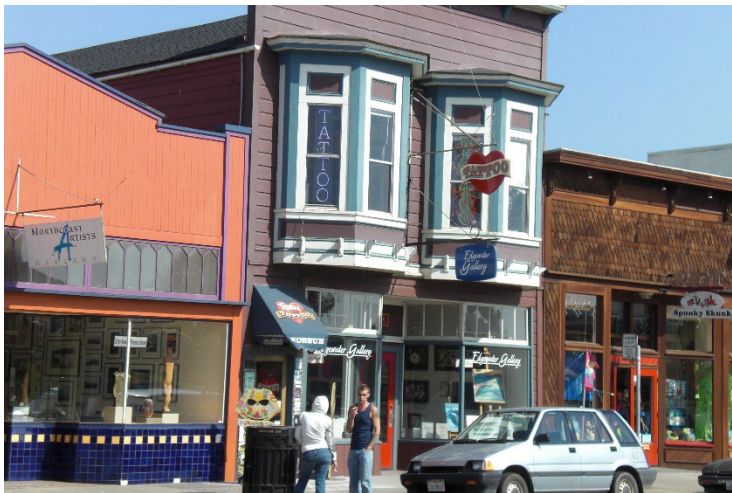
In many ways, it is the historic Victorian-era architecture and traditional downtown buildings of the 1860 – 1930's that are responsible for the unique character in downtown Fort Bragg. While historic architecture cannot and should not be recreated in the downtown or in the Mill Site CBD extension, new development can be designed to fit within the context of its surroundings and existing development rehabilitated to reflect original architectural features. New buildings should take their inspiration from the earlier buildings adjacent to them and located throughout the City's core and the following guidelines.

<b>Site Planning</b> M=Mandatory, P=Preferred	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>▪ Buildings in CBD should be built to the front and side property lines to form a continuous line of active building fronts along the street and avoiding gaps. Exceptions to this standard are:                             <ul style="list-style-type: none"> <li>• Portions of a building's façade may be set back to provide areas for plazas, pedestrian areas, pedestrian paseos, outdoor eating spaces, and small landscaped areas. Such areas should be provided with outdoor furniture and amenities appropriate for the space.</li> <li>• The provision of corner setbacks and cutoffs is strongly encouraged to facilitate pedestrian movement, provide better visibility for drivers, and accentuate corner buildings.</li> </ul> </li> </ul>	M	M
<ul style="list-style-type: none"> <li>• In walkable shopping areas, building entrances should be spaced no more than 50 feet apart from each other (to provide a seamless retail experience and to increase social interaction and sidewalk activity).</li> </ul>	P	P
<ul style="list-style-type: none"> <li>• No parking shall be provided between building front doors and the street they face in the Central Business District.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ The provision of usable pedestrian-oriented spaces is strongly encouraged. The following types of open space should be considered: plazas; courtyards; outdoor dining; corner cut-off areas with enhanced amenities; and mid-block pathways and/or alleys.</li> </ul>	P	P
<b>Architecture</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>▪ Human scale should be created through the use of building forms such as arches, walls, trellises, awnings, arbors and pergolas.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Buildings should be designed with a well-defined base, mid-section or body, and a top story or roofline.                             <ul style="list-style-type: none"> <li>• Building base – The design of the building base should differentiate it from the upper floors of the building. This may be a projection of the lower wall surface and/or a different material or color. It may be created by a heavier or thicker design treatment of the entire ground floor for a building of two or more floors, or by a setback of the upper floors.</li> <li>• Mid-Section – The preferred architectural character of the mid-section is to treat it as a solid wall with recessed windows or groupings of windows. Long or large wall surfaces with flush-mounted windows or without windows should be avoided.</li> <li>• Roofs and Rooflines – The design of roofs and rooflines should provide visual interest from the streets below and should complement the overall façade composition. Roofs of historic commercial buildings should be used as an inspiration for new designs. Flat roofs are acceptable if a strong, attractively detailed cornice and/or parapet wall is provided.</li> </ul> </li> </ul>	M	M
<ul style="list-style-type: none"> <li>▪ Architectural features in good proportion with the overall structure are encouraged. Gables, turrets, towers, or similar elements are encouraged to accent buildings at street corners, at the terminus of a street corridor, alley, or pedestrian way. Corner buildings should have prominent corner entrances.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>▪ Blank walls on elevations visible from public streets and gathering spaces are prohibited.</li> </ul>	M	M

- To divide the building mass of larger buildings into smaller scale components, buildings over 50 feet of frontage, visible from a public right of way, should reduce the perceived mass and bulk by using one or more of the following:
  - change in roof heights or wall plane;
  - projecting or recessed elements;
  - varying cornice or rooflines; or
  - other similar means.

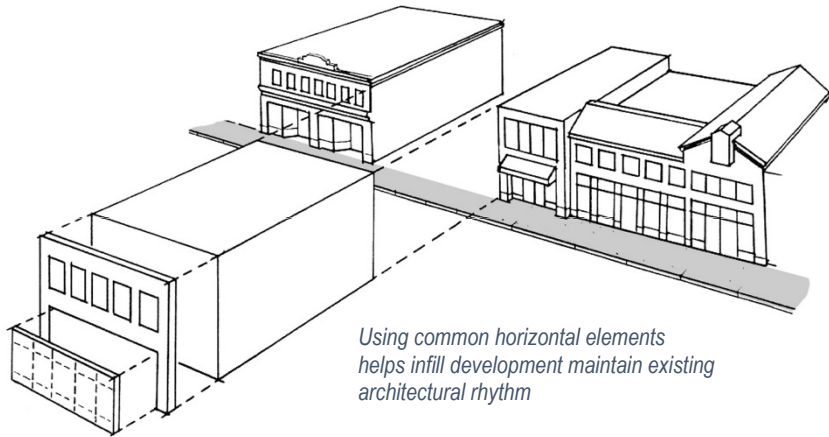


Typical Architectural Elements of a Downtown Fort Bragg Building



<b>Architectural Compatibility</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>Buildings should be composed of elements and details representative of Fort Bragg's architectural heritage. This may be expressed through the use of window and door treatments, storefront details, cornices, etc. Designers should familiarize themselves with the design elements and details used on older buildings in the downtown area and should incorporate contemporary versions of these older designs.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Whenever an infill building is proposed, identify the common horizontal elements (e.g. cornice line, window height/width and spacing) found among neighboring structures, and develop the infill using a similar rhythm or alignment.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>The overall pattern of windows, wall panels, pilasters, building bays, and storefronts should be based on a module derived from Fort Bragg's prevailing module of ground level building features. Generally, storefronts and building bays should be based on modules of approximately 25 to 50 feet in width.</li> </ul>	P	P
<b>Storefronts</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>Each storefront should be treated like a small building with its own base, roofline, and door and window pattern.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Large display windows should encompass a minimum of 65 percent of the storefront surface area. Upper story windows should be evenly spaced to harmonize with existing buildings.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>The base panel (bulkhead) below the display window should be a minimum of 24 inches and a maximum of 40 inches. Materials in this area should be visually heavier than adjacent walls.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Recess entries that provide for weather protection and a transition zone from sidewalk activity into the store are strongly encouraged. Recommended treatments include: special paving materials such as ceramic tile or brick; ornamental ceilings such as coffering; and decorative light fixtures.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Doors should be substantial and well detailed. They should match the materials, design, and character of display window framing.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Cornices should be provided at the second floor to differentiate the storefront from upper levels of the building and to add visual interest.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>The following details are encouraged to add visual interest and functionality: hanging or mounted light fixtures with decorative metal brackets; decorative scuppers, catches and downspouts; balconies, rails, finials, corbels, plaques; and metal grille work at vent openings.</li> </ul>	P	P

*Central Business District Sample Photos*



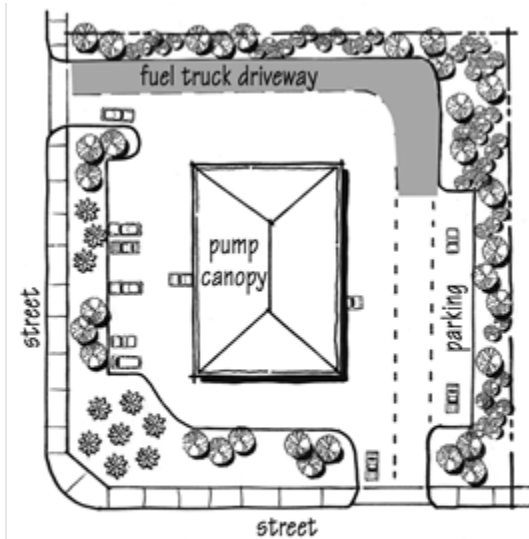
*Using common horizontal elements helps infill development maintain existing architectural rhythm*



*Well-designed storefront with good proportions*



Special Use Commercial Design Guidelines	Project Size	
<p><b>Auto Repair Services</b></p> <p>Adequate storage for vehicles under service can be a major problem with auto repair and service facilities, resulting in cars parked on the streets, landscaping, and neighboring properties. Additionally, noise, traffic, and hazardous materials associated with these uses can also be problematic. The intent of these guidelines is to ensure that these facilities are more compatible with their surroundings.</p>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>Service/work bays should be oriented so that the interiors are not visible or audible from adjacent public streets, residential structures, or active open space. If such an arrangement is not possible, dense landscaping and/or screen walls should be used.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Parking spaces for vehicles stored for repair should be located in the least visible areas of the site. Surface parking lots should be screened with active building space, fencing, art and/or landscaping to provide a visual buffer between the public right of way and stored vehicles.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Sufficient space for vehicle drop-off should be provided. Site design should provide space for vehicle stacking during peak hours.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Special design considerations should be made for the storage of oil, lubricants and other potentially hazardous materials.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Compressors and pneumatic equipment should be used in enclosed structures.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Adequate storage and trash areas should be designed to accommodate disposal of junk parts, packing, and used oil and lubricants.</li> </ul>	M	M
<p><b>Service Stations</b></p> <p>Design issues associated with service stations tend to be related to traffic, aesthetics, and storage. The following design guidelines are intended to improve the compatibility and appearance of service stations.</p>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>Buildings containing service or car wash bays should not face toward a public street nor adjacent residential property.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>The site design for projects located at street corners should provide a strong design element at the corner to help frame the public right-of-way and anchor the corner.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>The site design should accommodate circulation and traffic volumes, minimizing paving and soften paved areas with w landscaping.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Driveway cuts should be limited to two per site.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Each pump island should include a vehicle stacking area for at least three vehicles on at least one end of the pump island.</li> </ul>	M	M
<p><b>Drive-Through Businesses</b></p> <p>Design challenges for drive through businesses include efficient and well-organized vehicular access, onsite circulation, buffering of adjacent uses, noise, light and glare, and outdoor storage.</p>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>The building should be the dominant visual feature from the street frontage, not the parking lot or the drive-through aisle.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Drive-through aisles should be located at the rear of the building away from the street frontage whenever possible. If the drive-through aisle is located between the building and the street, dense landscaping and landscaped berms should be provided to screen the drive-through aisle from view from the street.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Drive-through lanes should accommodate vehicle stacking at the menu board and at the pick-up windows to ensure adequate circulation.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Drive through lanes and loading/unloading areas should be located as far as possible from residential properties.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Outdoor eating areas are encouraged and should include details such as trellises, low walls, fountains, etc.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Franchise formula architecture is strongly discouraged. Franchise identifying features should be limited to the company's logo and signs.</li> </ul>	M	M



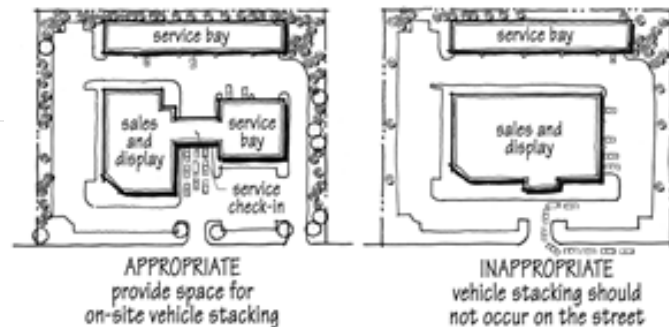
Fuel truck driveways should not obstruct on-site circulation



A pitched roof and wood siding begin to enhance the aesthetics of this service station



Building design can be clean and simple, yet still attractive



APPROPRIATE provide space for on-site vehicle stacking

INAPPROPRIATE vehicle stacking should not occur on the street



Use landscaping to screen service bays



<b>Hotels and Motels</b> In Fort Bragg, many hotels are visible from Main Street and/or the California Coastal Trail, making their design and impact particularly important. These guidelines are intended to provide flexibility in the architectural design while respecting the sensitive coastal setting. Hotel development must also conform with the overall design guidelines.	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>▪ Design of hotels and motels should draw upon the architecture of historic hotels in California for inspiration and design features, materials, and color.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Walkway, stairway, balcony railings, and other similar architectural details should be consistent with basic building design.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>▪ For structures over two stories, access to guestrooms should be provided from the hallway interiors.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Roof forms typical of residential buildings such as gable, hip or shed roof combinations are strongly encouraged.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>▪ Parking, delivery and loading area, and mechanical equipment should be screened from parks and pedestrian oriented streets with buildings and landscaping.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Hotels adjacent to, or across from, the Coastal Trail and parkland are subject to the following specific design guidelines, in addition to all the remaining relevant guidelines.               <ul style="list-style-type: none"> <li>▪ Properties shall provide pedestrian connections to the Coastal Trail</li> <li>▪ Hotels what provide a pedestrian friendly building frontage that faces the Coastal Trail;</li> <li>▪ All buildings shall be architecturally complete when viewed from the Coastal Trail;</li> <li>▪ The architecture should invoke a style of a rural cluster of bungalows or other small coastal hotel vernacular;</li> <li>▪ All fences and walls should frame and protect views to coast;</li> <li>▪ All buildings shall be sided with natural or natural appearing materials that have been proven to perform in harsh coastal environments; and</li> <li>▪ All structures shall be of muted colors of natural tones.</li> </ul> </li> </ul>	M	M
<ul style="list-style-type: none"> <li>▪ Surface parking lots should be screened with active building space, art, landscaping, etc. to provide a buffer between the public right of way and vehicles while still allowing for visibility. Delivery and loading areas should be located toward the rear of the property and screened to minimize impact on incompatible uses.</li> </ul>	M	M





## Mixed Use Development

Mixed use projects combine both commercial and residential uses on the same parcel, either in separate (horizontal mixed use) building or the same building (vertical mixed use). The design standards for each use in the mixed-use project shall apply to the project. For example if the project consists of a mixed use retail and residential development in the downtown, it shall comply with the design guidelines for the CBD and residential development, as well as the guidelines outlined below.

	<5,000 SF	>5,000 SF or Sensitive Design Areas
<b>Site Planning</b>		
<ul style="list-style-type: none"> <li>Loading areas and refuse storage facilities for the commercial use should be located as far as possible from residential units and should be completely screened from view from adjacent residential portions of the project or another adjacent residential uses. The location and design of refuse storage facilities should mitigate nuisances from odors when residential uses might be impacted.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Residential buildings should be arranged to create opportunities for common open space for the residential use. Common open space areas should be completely separated from other uses on the site and should provide a semi-private gathering place for residents.</li> </ul>	P	M
<b>Architecture</b>		
<ul style="list-style-type: none"> <li>The architectural style and use of materials should be consistent throughout the entire mixed use project. However, differences in materials and/or architectural details may differentiate the residential portion of the project from the commercial portion of the project.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>When residential &amp; commercial uses are in the same structure, separate pedestrian entrances should be provided for each use.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>All roof-mounted equipment should be completely screened from views above. Special consideration should be given to the location and screening of noise generating equipment such as refrigeration units, air conditioning, and exhaust fans so that they don't disturb residences.</li> </ul>	M	M



*Residential is placed above commercial in vertical mixed use*

<b>Residential Design Guidelines</b> All multi-family residential development must also conform with the overall design guidelines.	<5,000 SF	>5,000 SF or Sensitive Design Areas
<b>Site Planning - New Single Family Subdivisions</b>		
<ul style="list-style-type: none"> <li>▪ Residential structures should be oriented and placed for: 1) energy access and efficiency; and 2) to improve the streetscape with front doors and porches facing the street and garages and parking pulled behind the buildings to reduce their dominance.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Variation of development patterns within new neighborhoods is necessary to achieve visual diversity and avoid a monotonous appearance. One or more of the following techniques should be incorporated into the project's design to help achieve diversity.               <ul style="list-style-type: none"> <li>□ Varied front yard setbacks – Placement of homes and garages close to or back from the street creates different patterns of visible open space. The structures themselves, when close to the street, also add diversity to the view.</li> <li>□ Varied lot widths &amp; sizes – Making some lots wider, and some narrower, than the average lot provides different amounts of open area between structures. It also allows placement of different sizes and shapes of homes that give a neighborhood more character and individuality.</li> </ul> </li> </ul>	-	M
<b>Site Planning - New Multi-Family Developments</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>▪ New multi-family residential structures should be compatible with other development in the immediate area. New structures should complement existing development through scale, proportion, height, form, style, siting, and relationship to surrounding structures.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Buildings should be oriented toward the street. Buildings should be oriented to provide some privacy yet still relate to the street and the existing community. Doors should be visible from the street and windows should allow residents to have “eyes on the street” for natural surveillance.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>▪ In addition to a street orientation, the clustering of multi-family units should be a consistent site planning element. Whenever possible, buildings should be configured around courtyards, gathering areas, and open spaces.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Mailboxes should be located in highly visible, heavy use areas for convenience, to allow for casual social interaction, and to promote safety. A bench or seating area in close proximity to the mailbox location is strongly encouraged. A recycling receptacle should be located adjacent to the mailboxes.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>▪ Clusters of smaller buildings (with one to 6 units) are preferred over large buildings with more than 6 units per building.</li> </ul>	P	P
<b>Architectural Design</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>• Architectural styles should reflect traditional patterns of architecture on Northern California Coast, including: New England Salt Box, Cottage, Victorian, Italianate, Craftsman, Vernacular, or modern interpretations of these styles.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>• The design of houses should be varied within new neighborhoods to create diversity and interest—Housing on a street should include variability in massing, composition, architectural style, finish materials and colors. Repeating designs are permissible, only if the quality of the design is excellent and repetition is part of the architectural style. Repetitive units should not comprise more than eight units in a row or 50% of the units on any single block, whichever is more.</li> </ul>	P	M

<ul style="list-style-type: none"> <li>▪ Use of single-family residential design elements (e.g., pitched roofs, porches, individual entries) are recommended to reduce perceived density, give identity to the development and its individual dwelling units, add visual interest, and be compatible with the neighborhood context.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>• Buildings with height greater than two stories that step back the structure on the upper floor from the street and public spaces are encouraged.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>• Carports and detached garages should be designed as an integral part of the development's architecture. They should be similar in material, color, and detail to the main buildings of the development. Flat roofs should be avoided. Prefabricated metal carports should not be used.</li> </ul>	M	M
<b>Open Space &amp; Outdoor Play Areas</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas
<ul style="list-style-type: none"> <li>• A series of connected open space areas of varying shape, appearance and usage are encouraged.</li> </ul>	-	P
<ul style="list-style-type: none"> <li>• Boundaries between private and common open spaces should be clearly defined by low walls or plant materials.</li> </ul>	-	P
<ul style="list-style-type: none"> <li>• Children's play areas should be visible from as many units as possible and from private open space areas. Direct convenient access from private open space to the communal play area is encouraged.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>• Outdoor play areas should be located adjacent to laundry rooms, community centers, or similar common facilities. Play areas should not be located near public streets, parking, or entry areas unless physically separated by appropriate walls, fencing, or dense landscaping.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>• Hard surface areas for outdoor activities (e.g., bicycle riding, skating, rope jumping, and hopscotch) should be provided. These active play areas should be safely separated from vehicular use areas.</li> </ul>	-	P
<ul style="list-style-type: none"> <li>• <b>Larger projects in new developments should include bike paths as part of the street section, where feasible. Additionally, landscaping should be provided between the sidewalk and the street.</b></li> </ul>	-	M
<ul style="list-style-type: none"> <li>• In larger developments, separate, but not necessarily segregated, play areas or informal outdoor spaces should be provided for different age groups for safety reasons. Small developments may combine play areas (e.g., a tot lot incorporated into a larger activity area for older children).</li> </ul>	-	P
<ul style="list-style-type: none"> <li>• Seating areas should be provided where adults can supervise children's play and also where school-age children can sit. Seating location should consider comfort factors, including sun orientation, shade, and wind.</li> </ul>	-	P

Sample Residential Photos



## Industrial

The architectural design of a structure must consider many variables, from the functional use of the building, to its aesthetic design, to its “fit” within the context of existing development. The following guidelines help buildings achieve the appropriate level of design detail on all facades, avoid blank/uninteresting facades, and provide for the proper screening of equipment and refuse areas. Unlike other use types, Industrial Buildings are not required to comply with the general design guidelines.

<b>Architectural Form and Detail</b>	<5,000 SF	>5,000 SF or Sensitive Design Areas						
<ul style="list-style-type: none"> <li>Large unadorned and un-fenestrated wall expanses are permissible for industrial buildings. However, large expanses should be broken up with expansion joints, reveals, and/or changes in texture, color or materials.</li> </ul>	P	M						
<ul style="list-style-type: none"> <li>The mass and scale of large, box-like industrial buildings may be reduced through the incorporation of varying building heights and setbacks along the front and street side building façades.</li> </ul>	P	M						
<ul style="list-style-type: none"> <li>Light industrial buildings in the Mill Site Light Industrial zoning district should have an industrial or contemporary architectural character that is consistent with the historic fabric of the Mill Site or the development patterns of the nearby skunk train industrial buildings.</li> </ul>	P	M						
<ul style="list-style-type: none"> <li>Street side facades of large industrial buildings, that are visible from a public street, should include architectural features such as reveals, windows, openings, and changes in color, texture, and material to add interest to the building elevation and reduce visual mass.</li> </ul>	P	M						
<ul style="list-style-type: none"> <li>Primary building entries should be readily identifiable and well defined through the use of projections, recesses, columns, roof structures, or other design elements.</li> </ul>	P	P						
<ul style="list-style-type: none"> <li>Large expanses of highly reflective surface and mirror glass exterior walls should be avoided to prevent glare impacts on adjacent public streets and properties.</li> </ul>	M	M						
<ul style="list-style-type: none"> <li>The following table identifies materials that are encouraged, acceptable and discouraged for use on a building’s façade:</li> </ul> <table border="1" data-bbox="226 901 1549 1226"> <thead> <tr> <th data-bbox="226 901 642 938">Encouraged</th> <th data-bbox="642 901 1096 938">Acceptable</th> <th data-bbox="1096 901 1549 938">Discouraged</th> </tr> </thead> <tbody> <tr> <td data-bbox="226 938 642 1226"> <ul style="list-style-type: none"> <li>Horizontal and vertical redwood or solid wood siding</li> <li>Shingle siding</li> <li>Stucco</li> <li>Fiber cement siding</li> <li>Other like materials</li> </ul> </td> <td data-bbox="642 938 1096 1226"> <ul style="list-style-type: none"> <li>Real brick and rock</li> <li>Board and batten</li> <li>Formed concrete</li> <li>Steel or other metals</li> <li>Glass block</li> <li>Concrete block</li> <li>Ceramic tile</li> <li>Other like materials</li> </ul> </td> <td data-bbox="1096 938 1549 1226"> <ul style="list-style-type: none"> <li>T1-11 or other low quality wood siding</li> <li>Corrugated fiberglass</li> <li>Slump rock</li> <li>Highly tinted, reflective, or opaque glass</li> <li>Other like materials</li> </ul> </td> </tr> </tbody> </table>	Encouraged	Acceptable	Discouraged	<ul style="list-style-type: none"> <li>Horizontal and vertical redwood or solid wood siding</li> <li>Shingle siding</li> <li>Stucco</li> <li>Fiber cement siding</li> <li>Other like materials</li> </ul>	<ul style="list-style-type: none"> <li>Real brick and rock</li> <li>Board and batten</li> <li>Formed concrete</li> <li>Steel or other metals</li> <li>Glass block</li> <li>Concrete block</li> <li>Ceramic tile</li> <li>Other like materials</li> </ul>	<ul style="list-style-type: none"> <li>T1-11 or other low quality wood siding</li> <li>Corrugated fiberglass</li> <li>Slump rock</li> <li>Highly tinted, reflective, or opaque glass</li> <li>Other like materials</li> </ul>	M	M
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<b>Accessory Buildings</b>								
<ul style="list-style-type: none"> <li>The design of accessory buildings (e.g., security kiosks, maintenance buildings, and outdoor equipment enclosures) should be incorporated into and be compatible with the overall design of the project and the main buildings on the site.</li> </ul>	P	P						
<ul style="list-style-type: none"> <li>Temporary buildings (e.g., portable modular units and shipping containers) should not be visible from public streets or parks.</li> </ul>	P	M						
<ul style="list-style-type: none"> <li>Modular buildings should be skirted with material and color that is compatible with the modular unit and the main buildings on the site.</li> </ul>	P	M						
<b>Landscape Design</b>								

▪ Landscape design should follow an overall concept and should link various site components together.	P	M
▪ The use of trees and shrubs, near, and vines, on, walls to soften the appearance of buildings and walls and to deter graffiti is strongly encouraged.	P	M
▪ When industrial/warehouse uses are located adjacent to less intense uses (e.g., residential or retail commercial), additional landscaping in conjunction with appropriate decorative walls and setbacks should be provided to mitigate potential adverse impacts.	M	M
<b>Walls and Fences</b>		
▪ The colors, materials, and appearance of walls and fences, including walls for screening purposes should be compatible with the overall design character/style of the development.	P	M
▪ Walls and fences can be used to visually soften blank surfaces and to deter graffiti.	-	P
▪ When security fencing is required adjacent to streets, it should consist of wrought iron, tubular steel, wood fencing or similar materials.	P	M
<b>Outdoor Lighting</b>		
▪ Outdoor lighting (e.g., location, height, and number) should be designed to foster security. Site and building entries should have enhanced illumination to increase visibility and safety.	P	M
<b>Storage and Utility Equipment</b>		
▪ Outdoor storage areas (for raw and finished goods) should be screened from views from the public right of way, where feasible.	M	M
▪ If refuse storage areas, fuel tanks, generators, and fire check safety valves cannot be located out of public view, the design of these areas should incorporate architectural screening elements and landscaping compatible with the design of buildings and landscaping on the site.	M	M



Overall Sign Guidelines	M=mandatory, P=Preferred	
	Signs 25 SF or less in size	Signs greater than 25 SF
<ul style="list-style-type: none"> <li>Signs should be designed to relate to the architectural features of the building on which they are located and create visual continuity with other storefronts on the same or adjacent buildings.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Signs that reflect the type of business through design, shape, or graphic form are encouraged.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Signs should coordinate with the building design, materials, color, size, and placement.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Signs that align with others on adjacent building facades are generally preferred.</li> </ul>	P	M
<b>Sign Legibility</b>		
<ul style="list-style-type: none"> <li>Use a brief message. The fewer the words, the more effective the sign's message. A sign with a brief, succinct message is simpler and faster to read, looks cleaner, and is generally more attractive.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Use easy to read lettering styles. Typefaces that are difficult to read reduce the sign's ability to communicate. Avoid spacing letters and words too close together.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Lettering should not occupy more than 75 percent of the sign face.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Limit the number of lettering styles in order to increase legibility: no more than two lettering styles for small signs (generally up to 10 square feet) and three for larger signs.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Encourage unique signs, but avoid typefaces that are too faddish or bizarre.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Use significant contrast. Generally, light colored letters and a darker, contrasting background presents the most visible and best-looking image.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Use symbols and logos. Pictographic images will usually register more quickly in the viewer's mind than a written message.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Signs, which advertise the occupant business through the use of graphic or crafted symbols, such as shoes, keys, glasses, or books, are encouraged. Figurative signs may be incorporated into any of the allowable sign types identified above.</li> </ul>	P	P
<b>Sign Placement</b>		
<ul style="list-style-type: none"> <li>Hanging signs attached to buildings that project perpendicular to the building are encouraged in pedestrian areas.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Signs should be placed at or near the public entrance to a building or main parking area to indicate the most direct access to the business.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Signs should be sized and placed consistent with the proportions of the building's façade. For example, a particular sign may fit well on an upper, more basic wall, but would overpower and obstruct the finer detail of a lower storefront area. A sign appropriate near the building's entry may look tiny and out of place above the ground level.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Signs should not cover or interrupt the architectural details or ornamentation of a building's façade.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Signs should not project above the edge of the rooflines and should not obstruct windows and/or doorways.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>The location and extent of signs and advertising should not obstruct scenic views.</li> </ul>	M	M
<b>Sign Color</b>		
<ul style="list-style-type: none"> <li>Three or fewer colors are encouraged on a single sign.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Contrast is an important influence on the legibility of signs. The most aesthetic and effective graphics are produced when light colored letters and images are placed on a dark contrasting colored background.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Sign colors should relate to and complement the materials or color scheme of the buildings, including accent and trim colors.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Bright day-glo (fluorescent) colors are prohibited as they are distracting.</li> </ul>	M	M



Commercial signage should be minimal yet effective



Use significant contrast to increase legibility



Pictographic images are encouraged





Sign Materials	Signs 25 SF or less in size	Signs greater than 25 SF
<ul style="list-style-type: none"> <li>Sign materials should be selected with consideration for the architectural design of the building's façade. Sign materials should complement the materials on the façade and should contribute to the legibility of the sign.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Sign materials should be very durable. The following sign materials are encouraged for downtown Fort Bragg:               <ul style="list-style-type: none"> <li>Wood (carved, sandblasted, etched, properly sealed and painted, or stained); Wood should be properly sealed to minimize moisture damage.</li> <li>Metal (formed, etched, cast, engraved, and properly primed and painted or factory coated to protect against erosion)</li> <li>Subtle custom neon tubing incorporated into sign or reminiscent of historic signs</li> </ul> </li> </ul>	M	M
Sign Illumination		
<ul style="list-style-type: none"> <li>Lighting of all exterior signs should be directional to illuminate the sign without producing glare on pedestrians, autos, or adjacent residential units.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Indirect sign illumination is preferred.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Whenever indirect lighting fixtures are used, care shall be taken to properly shield the light source.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>The use of backlit, individually cut letter signs is strongly encouraged for all types of business and signs, including monument-type signs.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Internally-illuminated cabinet-type signs are discouraged. If internally illuminated cabinet signs are used, their sign panels should be opaque so that when illuminated only the lettering, not the background, is illuminated. The background or field should have a non-gloss, non-reflective finish. White and light backgrounds are prohibited for internally illuminated cabinet signs.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Blinking, rotating, flashing, changing, or reflecting lights are highly prohibited.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Neon lighting is discouraged for the lettering of the sign except neon lettering that has a historic quality; innovative use of neon for images or logos may be appropriate.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Electrical transformer boxes and raceways should be concealed from public view. If a raceway cannot be mounted internally behind the finished exterior wall, the exposed metal surfaces of the raceway should be finished to match the background wall, or integrated into the overall design of the sign. If raceways are necessary, they should be as thin and narrow as possible and should never extend in width or height beyond the area of the sign's lettering or graphics. All exposed conduit and junction boxes should be appropriately concealed from public view.</li> </ul>	M	M
Wall Signs		
<ul style="list-style-type: none"> <li>A wall sign should be located where the architectural features or details of the building suggest a location, size, or shape for the sign. The best location for a wall sign is generally a blank area between the first and second floors of a building.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Wall signs should not project from the surface upon which they are attached more than that required for construction purposes and in no case more than 6 inches.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Wall signs and "ghost" signs painted directly on a structure may be appropriate in some cases. On historic structures ghost signs often lend an air of age and authenticity.</li> </ul>	P	P



*Appropriate awnings*



*Wall painted "ghost" sign*



*Appropriate wall signs*

Projecting Signs	Signs 25 SF or less in size	Signs greater than 25 SF
<ul style="list-style-type: none"> <li>Small, pedestrian-oriented signs are strongly encouraged. Projecting signs are especially appropriate in downtown Fort Bragg and Neighborhood Commercial developments.</li> </ul>	P	-
<ul style="list-style-type: none"> <li>Projecting signs should be used for ground floor uses only. On a multi-storied building, the sign should be suspended between the bottom of the second story windowsills and the top of the doors or windows of the first story.</li> </ul>	M	-
<ul style="list-style-type: none"> <li>Projecting signs should be hung at a 90-degree angle from the building face. The distance between projecting signs should be at least 25 feet.</li> </ul>	P	-
<ul style="list-style-type: none"> <li>Sign supports and brackets should be compatible with the design and scale of the sign and the architectural design of the building. Decorative iron and wood brackets are encouraged.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Internal illumination of projecting signs is prohibited.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Where overhangs or covered walkways exist, pedestrian-oriented hanging signs are encouraged.</li> </ul>	P	-
Awning Signs		
<ul style="list-style-type: none"> <li>Awning signs are appropriate for ground and second floor uses.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Sign text should be located only on the valance portion of the awning. Letter color should be compatible with awning and building colors.</li> </ul>	P	M
<ul style="list-style-type: none"> <li>Backlit, internally illuminated awnings are prohibited.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Only permanent signs that are an integral part of the canopy or awning should be used. Awning signs should be painted directly on the awning.</li> </ul>	M	M
Window Signs		
<ul style="list-style-type: none"> <li>Window signs (permanent or temporary) should not cover more than 20-percent of the area of each window.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Window signs should be individual letters placed on the interior surface of the window and intended to be viewed from outside. White and gold-leaf paint are the recommended. Glass-mounted graphic logos are also appropriate.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>The text or sign copy of a window sign should be limited to the business name, and brief messages identifying the product or service (e.g. “maternity wear” or “attorney”), or pertinent information (e.g. “reservations required”).</li> </ul>	M	M
Monument Signs		
<ul style="list-style-type: none"> <li>Freestanding monument signs (on ground) are strongly encouraged over pole signs.</li> </ul>	P	P
<ul style="list-style-type: none"> <li>Monument signs may be internally illuminated, however, the sign copy should be the only portion of the sign face that is illuminated. The sign background or field should be opaque with a non-gloss, non-reflective finish. Signs with individual back-lit letters, or stenciled panels with three-dimensional push-through graphics are encouraged.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Monument signs should be placed perpendicular to the street.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Monument signs should be placed so that sight lines at entry driveways and circulation aisles are not blocked.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Monument signs should be designed to create visual interest and compliment their surroundings. Monument signs should incorporate architectural elements, details, and articulation as follows: <ul style="list-style-type: none"> <li>Provide architectural elements on the sides and top to frame the sign pane(s). Use columns, pilaster, cornices, and similar details to provide design interest.</li> <li>Incorporate materials and colors into the sign support structures to match or be compatible with materials and colors of the development the sign serves so it does not appear out of scale with its adjacent building(s).</li> </ul> </li> </ul>	M	M
<ul style="list-style-type: none"> <li>Monument signs shall incorporate landscaping at their base. Landscaping around monument signs should be designed to ensure the long-term readability of the sign.</li> </ul>	M	M



*Appropriate projecting signs*



*Simple freestanding signs are appropriate for some small-scale commercial uses*



*Appropriate window signs*



*Place monument signs perpendicular to street*

Pole Signs	Signs 25 SF or less in size	Signs greater than 25 SF
<ul style="list-style-type: none"> <li>Pole-mounted signs are discouraged for parcels with less than 100 feet of street frontage as such signs would typically be out of scale with smaller parcels and would allow tall signs too close together, which would disrupt visibility.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Pole signs incorporate architectural elements into the sign portion of the sign as well as the supporting structure.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Pole signs may be internally illuminated, however, the sign copy should be the only portion of the sign face that is illuminated.</li> </ul>	M	M
<ul style="list-style-type: none"> <li>Pole signs should incorporate a landscaped area at the base of the sign equal to one to two times the size of the sign face.</li> </ul>	M	M

<b>Design Guidelines: All Commercial and Multi-Family Residential Development</b>	
<b>Massing, Elevations &amp; Articulation</b>	
<ul style="list-style-type: none"> <li>Structures should be well articulated on all sides visible from public streets and spaces. The highest level of articulation occurs on the front façade, and on all elevations visible from the public right of way. This includes variation in massing, roof forms, and wall planes, as well as surface articulation. Avoid boxy and monotonous facades that lack human scale dimensions and have large expanses of flat blank wall planes visible to the public.</li> </ul>	M
<ul style="list-style-type: none"> <li>The scale of buildings shall relate to the surrounding development patterns. Buildings with greater height than surrounding buildings should step back the structure on the upper floors from street and public spaces to lessen the appearance of mass and bulk.</li> </ul>	M
<ul style="list-style-type: none"> <li><b>All development adjacent to the Coastal Trail (Noyo Headlands Park) should step back the structures on the upper floor from the side of the building that is adjacent to the Coastal Trail. Roof decks and balconies that overlook the coastal trail should be unobtrusive.</b></li> </ul>	M
<ul style="list-style-type: none"> <li>Architectural elements that add visual interest, scale, and character such as projecting balconies, trellises, recessed windows, <del>and</del> window and door detailing, <u>or green garden walls</u> are incorporated to help articulate facades and blank walls.</li> </ul>	P
<ul style="list-style-type: none"> <li>Architectural details and materials shall be incorporated on the lower part of the building facade to relate to human scale. These pedestrian scale elements can include awnings, trellises, windows, building base articulation, and changes in materials, textures, and colors.</li> </ul>	M
<ul style="list-style-type: none"> <li><del>Avoid large monolithic structures. Emphasize compact building design. Clusters of smaller buildings are preferred over larger single structures.</del></li> </ul>	M or P
<ul style="list-style-type: none"> <li><del>Varied building should heights provide visual interest and give the appearance of a collection of smaller structures.</del></li> </ul>	P
<ul style="list-style-type: none"> <li>Break up large building forms by vertical and horizontal variations in wall and roof planes, building projections, projecting ribs, reveals, door and window bays and similar design elements. To divide the building mass into smaller scale components, building faces over 50 feet long should reduce the perceived mass and bulk by one or more of the following: change of roof or wall plane; projecting or recessed elements, such as trellises, balconies, openings, etc.; varying cornice or rooflines; or other similar means.</li> </ul>	P
<ul style="list-style-type: none"> <li><b>All building and site design shall use passive solar design strategies for space heating and lighting to reduce energy demand to the extent feasible.</b></li> </ul>	P
<b>Architectural Form and Detail</b>	
<ul style="list-style-type: none"> <li><b>Commercial development shall include a higher level of architectural detailing and higher quality materials at the pedestrian level of the building.</b></li> </ul>	P
<ul style="list-style-type: none"> <li><u>Commercial development shall compliment and/or</u> Incorporate design elements and features from the historic architectural styles of the Central Business District, <u>such as bay windows, porches, projecting eaves, awnings, and similar elements that add visual interest to the development.</u></li> </ul>	M
<ul style="list-style-type: none"> <li><del>Include architectural elements such as bay windows, porches, projecting eaves, awnings, and similar elements that add visual interest to the development.</del></li> </ul>	P
<ul style="list-style-type: none"> <li><del>All elevations should be detailed with the same care and attention, and preferably using the same materials, as the front elevation.</del></li> </ul>	P
<ul style="list-style-type: none"> <li>Architectural style is compatible with the surrounding character, including building style, form, size, materials, and roofline.</li> </ul>	P
<ul style="list-style-type: none"> <li><del>The integration of varied textures, openings, recesses, and design accents on building walls is to soften the architecture.</del></li> </ul>	M or P
<ul style="list-style-type: none"> <li>The use of awnings, canopies, recesses, and arcades is strongly encouraged to provide protection for pedestrians and to add interest and color to buildings. Awning placement should fit within the scale, proportion, and rhythm created by the distinct architectural elements and should not cover piers, pilasters and other architectural details. Awnings should be compatible in color and design with the buildings. Awning frames and supports</li> </ul>	P

should be painted or coated metal or other non-corroding material and designed to withstand wind loads. <del>Prefabricated plastic and vinyl awning are not permitted. Canvas awnings are discouraged due to the potential for wind damage.</del>	
<ul style="list-style-type: none"> <li>Franchise architectures is strongly discouraged. Buildings should be readily reusable by other tenants and should not be identified with a design that is specific to a franchise.</li> </ul>	M
<b>Roof Form</b>	
<ul style="list-style-type: none"> <li>Roof forms should be used to distinguish various building forms, create an interesting roof line, and help break up the building massing.</li> </ul>	M
<ul style="list-style-type: none"> <li>Roof forms such as gable, hip or shed roof combinations are strongly encouraged. If parapet roofs are used they should include detailing typical of Fort Bragg's character and design. <b>Special care should be exercised in designing how the roof frames or meets the sky, which may include but not be limited to: use of false fronts, architectural detailing, and roof overhangs.</b></li> </ul>	P
<ul style="list-style-type: none"> <li>Buildings shall incorporate passive solar design and include at least one roof plane that is large enough to accommodate photovoltaic (PV) panels to meet the majority (&gt;50%) of the building's energy needs, when feasible.</li> </ul>	M
<ul style="list-style-type: none"> <li><del>Deep r</del>Roof overhangs are encouraged to create shadow and add depth to facades. Where applicable to the architectural style, roof eaves should extend at least 12" from primary wall surface to enhance shadow lines and articulation of surfaces and protect from driving rain. <b>Smaller roof overhangs are permissible with rain screen or other technologies.</b> Roof overhangs should be designed to facilitate passive solar heating.</li> </ul>	P
<ul style="list-style-type: none"> <li>Exposed structural elements (beams, rafter tails, etc.) are encouraged as roof overhang details.</li> </ul>	P
<ul style="list-style-type: none"> <li>All roof-mounted equipment should be effectively and attractively screened through the use of various architectural detailing including, but not limited to, roof form, decorative parapets or cornices <b>that match the architectural character and materials of the building.</b></li> </ul>	M
<ul style="list-style-type: none"> <li>Natural and non-reflective roof materials are encouraged, <u>including cool roof and g</u><del>Green roofs techniques</del> (planted with native plantings) are encouraged.</li> </ul>	P
<ul style="list-style-type: none"> <li>Highly reflective materials shall be avoided.</li> </ul>	M
<ul style="list-style-type: none"> <li><b>Balconies, roof gardens and roof decks shall be designed to minimize impacts on privacy in neighboring buildings and lots.</b></li> </ul>	M
<b>Windows, Doors, and Entries</b>	
<ul style="list-style-type: none"> <li>The size and location of doors and windows should relate to the scale and proportions of the overall structure.</li> </ul>	M
<ul style="list-style-type: none"> <li>The main building entrance should be distinguished from the rest of the building and easily recognizable and oriented toward the street, <u>internal walkway, or courtyard</u> whenever possible. <del>Front doors should always be oriented toward the sidewalk. Individual entries should have a strong relationship with a fronting street, internal walkway, or courtyard, as appropriate to the overall siting concept.</del></li> </ul>	M
<ul style="list-style-type: none"> <li>Front entry design should incorporate two or more of the following: front porch or stoop; recessed doors, archways, or cased openings; canopies; decorative detailing or placement of art; a projecting element above the entrance; integration of architectural elements such as flanked columns or decorative fixtures; changes in the roofline or a tower feature.</li> </ul>	P
<ul style="list-style-type: none"> <li><b>Buildings located on corners in pedestrian areas should provide for visibility around the corner, by either including windows on both walls that intersect at the corner or an angled corner entryway.</b></li> </ul>	M
<ul style="list-style-type: none"> <li>Exterior stairways <del>should compliment the architectural style of building are discouraged</del>, where required they should be open to allow views for natural surveillance.</li> </ul>	M
<ul style="list-style-type: none"> <li>Window and door type, material, shape, and proportion should complement the architectural style of the building.</li> </ul>	P
<ul style="list-style-type: none"> <li>Windows should be <u>provided incorporated</u> at storefront locations.</li> </ul>	M
<ul style="list-style-type: none"> <li>In general, upper stories should have a window to wall area proportion that is smaller than that of ground floor storefronts (typically 30 to 50 percent).</li> </ul>	P

<ul style="list-style-type: none"> <li>Windows should be articulated with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.</li> </ul>	P						
<ul style="list-style-type: none"> <li><del>Glass that is inset a minimum of three inches from the exterior wall surface is encouraged to add relief to the wall.</del></li> </ul>	P						
<ul style="list-style-type: none"> <li>The use of clear glass (at least 80% light transmission) is recommended. Dark tinted glass and reflective mirror-like glass are not allowed.</li> </ul>	M						
<ul style="list-style-type: none"> <li><del>Imitation and/or fake divided lights are discouraged on the pedestrian level of buildings.</del></li> </ul>	P						
<b>Materials</b>							
<ul style="list-style-type: none"> <li><del>All structures should appear to be made of high quality, authentic, and timeless materials.</del></li> </ul>	M						
<ul style="list-style-type: none"> <li><del>Building materials should be durable and low maintenance to withstand the coastal environment. Materials should be of comparable or better quality and image to what is used in the surrounding area.</del></li> </ul>	M						
<ul style="list-style-type: none"> <li>Materials should be varied to provide architectural interest, however, the number of materials and colors should be limited and not exceed what is required for contrast and accent of architectural features. Exterior materials and architectural details should relate to each other in ways that are traditional and logical.</li> </ul>	P						
<ul style="list-style-type: none"> <li>The use of green building and sustainable materials is encouraged to exceed the minimum required by the California Building Code.</li> </ul>	P						
<ul style="list-style-type: none"> <li>Materials should enhance different parts of a building's façade and be consistent with the desired architectural style. <ul style="list-style-type: none"> <li>Where appropriate to the architectural style, materials and textures should vary between the base and body of a building to break up large wall planes and add visual base to the building.</li> <li>Heavier materials and darker colors should be used lower on the building elevation to form the building base.</li> <li>Exterior columns or supports for site elements, such as trellises and porches, should utilize materials and colors that are compatible with the rest of the development.</li> </ul> </li> </ul>	P						
<ul style="list-style-type: none"> <li>Material changes should occur at intersecting planes, preferably at inside corners of changing wall planes or where architectural elements intersect such as a chimney, pilaster, projection, or fence line.</li> </ul>	P						
<ul style="list-style-type: none"> <li>The following table identifies materials that are encouraged, acceptable and discouraged for use on a building's façade:</li> </ul> <table border="1" data-bbox="184 933 1501 1429"> <thead> <tr> <th>Encouraged</th> <th>Acceptable</th> <th>Discouraged</th> </tr> </thead> <tbody> <tr> <td> <ul style="list-style-type: none"> <li>Horizontal and vertical redwood or solid wood siding</li> <li>Shingle siding</li> <li>Smooth stucco, hand troweled stucco</li> <li>Fiber cement-<del>wood</del> siding with an authentic appearance, <u>profile &amp; dimension, over 3/8" thickness</u></li> <li>Other like materials</li> </ul> </td> <td> <ul style="list-style-type: none"> <li><u>Real brick, rock veneer, stone or similar materials with an authentic texture, color and dimension</u></li> <li>Board and batten</li> <li>Formed concrete</li> <li>Steel</li> <li>Glass block</li> <li>Corrugated Metal</li> <li>Other like materials</li> <li><u>Fiber cement_ with wood siding with an authentic appearance, under 3/8" thickness</u></li> </ul> </td> <td> <ul style="list-style-type: none"> <li><del>T-11 or other</del> Low quality wood <u>engineered</u> siding</li> <li>Textured/rough stucco</li> <li>Corrugated fiberglass</li> <li>Concrete block</li> <li>Ceramic tile (except for accent areas);</li> <li>Slump rock</li> <li>Highly tinted, reflective, or opaque glass</li> <li><del>Silver aluminum window and door frames</del></li> <li>Other like materials</li> </ul> </td> </tr> </tbody> </table>	Encouraged	Acceptable	Discouraged	<ul style="list-style-type: none"> <li>Horizontal and vertical redwood or solid wood siding</li> <li>Shingle siding</li> <li>Smooth stucco, hand troweled stucco</li> <li>Fiber cement-<del>wood</del> siding with an authentic appearance, <u>profile &amp; dimension, over 3/8" thickness</u></li> <li>Other like materials</li> </ul>	<ul style="list-style-type: none"> <li><u>Real brick, rock veneer, stone or similar materials with an authentic texture, color and dimension</u></li> <li>Board and batten</li> <li>Formed concrete</li> <li>Steel</li> <li>Glass block</li> <li>Corrugated Metal</li> <li>Other like materials</li> <li><u>Fiber cement_ with wood siding with an authentic appearance, under 3/8" thickness</u></li> </ul>	<ul style="list-style-type: none"> <li><del>T-11 or other</del> Low quality wood <u>engineered</u> siding</li> <li>Textured/rough stucco</li> <li>Corrugated fiberglass</li> <li>Concrete block</li> <li>Ceramic tile (except for accent areas);</li> <li>Slump rock</li> <li>Highly tinted, reflective, or opaque glass</li> <li><del>Silver aluminum window and door frames</del></li> <li>Other like materials</li> </ul>	M
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<b>Colors</b>	
<ul style="list-style-type: none"> <li>Colors should enhance different parts of a building's façade and be consistent with the desired architectural style.</li> </ul>	P
<ul style="list-style-type: none"> <li><b>Colors west of Highway 1 (Main Street) along the coast should recede in the view shed or be subordinate to the view shed. Dark earth tone colors are preferred where the view shed is dark and lighter earth tone colors may be preferred where the background is lighter.</b></li> </ul>	
<ul style="list-style-type: none"> <li>Colors should visually relate building elements to each other, and also individual facades to each other. The colors chosen for a building façade should complement neighboring facades (but should not replicate).</li> </ul>	P
<ul style="list-style-type: none"> <li>Color should be used as an important design element in the development's appearance. Historically, certain color palettes were associated with particular architectural styles. Whenever possible, exterior building colors should reflect the basic colors of the architectural style or period of the building or its environs. For example, bright and rich color combinations associated with the Victorian Era are appropriate downtown. However, in the coastal zone color pallet should focus on <b>earth tone</b> colors. Bright and sharply contrasting colors should be avoided.</li> </ul>	P
<ul style="list-style-type: none"> <li>Colors used on exterior facades should be harmonious and contrasting compatible colors are encouraged to accentuate details such as trim, windows, doors, and key architectural elements.</li> </ul>	P
<ul style="list-style-type: none"> <li>No fewer than two colors should be used on any given façade, and three or more colors are preferred. This includes any "natural" colors such as unpainted brick or stone. The three preferred colors should constitute the: Primary base color, Secondary color and Minor trim color.</li> </ul>	P
<b>Lighting</b>	
<ul style="list-style-type: none"> <li>Exterior lighting <del>shall</del> be designed as part of the overall architectural style of the building and should illuminate entries, driveways, walkways, and activity areas.</li> </ul>	M
<ul style="list-style-type: none"> <li>Entrances <del>shall</del> be well illuminated for safety and identification purposes.</li> </ul>	M
<ul style="list-style-type: none"> <li>Lighting sources <del>shall</del> be hidden unless the sources are an integral part of the design. Lighting fixtures should not project above the fascia or roofline of the building.</li> </ul>	M
<ul style="list-style-type: none"> <li>Partial or full cutoff lighting is required. Exterior lighting shall be located and designed to avoid shining directly onto nearby residential properties, and shall minimize off-site glare. The latest technical and operational energy conservation concepts should be considered in lighting designs.</li> </ul>	M
<ul style="list-style-type: none"> <li>Subtle and minimalist lighting may be used to accent architectural features and landscaping. Accent lighting should not contribute to glare or distract from the overall ambient night lighting in the neighborhood.</li> </ul>	P
<ul style="list-style-type: none"> <li><u>Night sky</u></li> </ul>	
<ul style="list-style-type: none"> <li><u>Parking lot lighting fixtures shall be no taller than 16 feet in height and shall cast light downward without allowing glare or light to encroach upon neighboring properties.</u></li> </ul>	
<b>Site Planning</b>	
<ul style="list-style-type: none"> <li>Buildings should be sited in order to minimize impacts to surrounding development and open space. Care should be taken to place structures well to minimize impacts to natural areas and natural contours.</li> </ul>	M
<ul style="list-style-type: none"> <li>Buildings should generally be oriented toward the street. Buildings on corner parcels should establish a strong tie to both streets.</li> </ul>	M
<ul style="list-style-type: none"> <li>All building and site design shall use passive solar design strategies for space heating and lighting to reduce energy demand to the extent feasible.</li> </ul>	P
<ul style="list-style-type: none"> <li>Climate factors such as prevailing winds, window and door orientation, and the positioning of buildings on the site should be coordinated to maximize energy conservation and Photovoltaic (PV) access.</li> </ul>	P

Landscape		
<ul style="list-style-type: none"> <li>Landscaping should enhance the character and sense of place for each project. Landscaping should help complete the design of a site and should not be added as an afterthought. The choice, placement, and scale of plants should relate to the architectural and site design of the project. Landscaping should enhance the quality of the development by framing and softening the appearance of buildings, screening undesirable views and equipment, providing buffers from incompatible uses, and providing protection from wind and rain. Landscaping should be in scale with adjacent buildings and be of appropriate size at maturity.</li> </ul>	P	
<ul style="list-style-type: none"> <li><del>Landscaping should generally incorporate plantings utilizing a three-tiered system: ground covers (including flowering plants – annuals and perennials), shrubs/vines, and trees. <b>The following landscape design concepts are encouraged for project design:</b></del></li> <li><del>Use of specimen trees (36-inch box or larger) in groupings and rows in parking lots</del></li> <li><del>Use of flowering vines on walls and arbors where appropriate</del></li> <li>Use of berms and vines on walls to screen parking, refuse, storage, and equipment areas</li> </ul>	P	
<ul style="list-style-type: none"> <li>Landscaping designs that do not require irrigation systems are preferred. Projects that include irrigation shall emphasize water-efficient plants. Rainwater and greywater are encouraged to meet all irrigation needs.</li> </ul>	P	
<ul style="list-style-type: none"> <li>Bio-swales and rain gardens should be utilized within landscaped areas to infiltrate stormwater on site.</li> </ul>	P	
<ul style="list-style-type: none"> <li><del>Planting should be used to screen less desirable areas from public view; i.e., any solid, windowless elevations, trash enclosures, propane tanks, parking areas, storage areas, loading areas, public utilities, and mechanical equipment.</del></li> </ul>	P	
<ul style="list-style-type: none"> <li>Landscaping <b>features</b> that defines and accents specific areas such as building entry, parking lot entrances and the main walkways to community facilities is encouraged.</li> </ul>	P	
<ul style="list-style-type: none"> <li>Trees and plants native to the Northern California coast <del>and/or</del> those <del>that, which</del> flourish in the region, <del>should all</del> be selected <del>when possible</del>. Plant materials should also be selected for their low maintenance qualities.</li> </ul>	PM	
<ul style="list-style-type: none"> <li><del>Trees located along street frontages should be selected to match or complement existing or proposed street trees in the public right-of-way.</del></li> </ul>	P	
<ul style="list-style-type: none"> <li>Plants and trees with root systems that uplift hardscape materials should be appropriately located away from paved and concrete areas.</li> </ul>	M	
<ul style="list-style-type: none"> <li>Landscaping on parcels that are adjacent to the Coastal Trail shall use <del>native</del> plants <u>native to the northern California coast</u>. Invasive plants are prohibited.</li> </ul>	M	
<ul style="list-style-type: none"> <li><u>Pollinator Plants</u></li> </ul>		
Fencing & Screening		
<ul style="list-style-type: none"> <li><del>Use of berms, vines and plantings should be used to screen less desirable areas from public view; i.e., any solid, windowless elevations, trash enclosures, propane tanks, parking areas, storage areas, loading areas, public utilities, and mechanical equipment.</del></li> </ul>	P	
<ul style="list-style-type: none"> <li>Fences should be kept as low as possible while still performing their intended security, screening, or separation functions.</li> </ul>	P	
<ul style="list-style-type: none"> <li>Fencing materials and colors of fences and walls should be consistent and compatible with the architectural themes on the site. Open, wooden <u>or natural</u> fencing <del>is are the</del> preferred <del>fencing material for Fort Bragg</del>.</li> </ul>	P	
<ul style="list-style-type: none"> <li>Fences or walls of more than 100 ft should provide variation in the design – via changes in height, materials, embellishments, step backs, gates, etc. - to break up the length and provide visual interest.</li> </ul>	M	
<ul style="list-style-type: none"> <li>Screening should not result in hiding places or entrapment areas.</li> </ul>	M	
Open Space & Pedestrian Circulation		
Common open space provides opportunities for casual social interaction, as well as helping to reduce the perceived density of the development. Private open space serves as an outdoor rooms for tenants.		
<ul style="list-style-type: none"> <li>Courtyards, public space, <b>plazas</b>, and landscaped areas are encouraged.</li> </ul>	P	
<ul style="list-style-type: none"> <li><del>Trees and public art should also be incorporated into courtyard, plaza, and mid-block passage design.</del></li> </ul>		

<ul style="list-style-type: none"> <li>▪ <del>Open space areas should be sheltered from the noise and traffic of adjacent streets or other incompatible uses.</del> Open space siting should give consideration to prevailing breezes, <u>and</u> sun orientation, <u>views, traffic and noise</u> in order to provide a <u>comfortable desirable</u> environment.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Ideally, at least 50 percent of the open space area should have access to direct sunlight.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Shelters are encouraged to provide protection from inclement weather.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ In commercial areas, open spaces and passages should be inviting, well lit, and accessed from multiple locations.</li> </ul>	P
<b>Site Amenities</b>	
<ul style="list-style-type: none"> <li>▪ Where bus routes are located near the development, the site design should consider convenience and comfort factors for users. These include direct access, widened sidewalks, seating areas, and weather protection provided near public transit stops.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Pedestrian amenities (benches, shelters, drinking fountains, lighting, trash receptacles, <u>electric vehicle charging stations</u> and bicycle racks) are strongly encouraged.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Pedestrian activity areas should provide a sufficient level of wind and rain protection for pedestrians. Canopies, trees, or other methods of protection should be provided.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ <del>Trees and public art should also be incorporated into courtyard, plaza, and mid-block passage design.</del></li> </ul>	P
<ul style="list-style-type: none"> <li>▪ The relative size and design of private street furniture should be compatible with the architectural style of the building to which it relates, while also complementing street furniture in the public realm. Street furniture should be constructed of durable, easily maintained materials that will not fade, rust, or otherwise quickly deteriorate.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Decorative paving is encouraged for entryways, courtyards, plazas, pedestrian walkways, and crosswalks. Paving materials should complement the architectural design of the building and landscape design: stamped concrete, stone, brick, pavers, exposed aggregate, and colored concrete are recommended.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ <del>Clear legible entry signs should be provided to identify the development.</del> Internal circulation signs and visitor parking areas should also be clearly indicated. A directory that shows the location of buildings and individual dwelling units within the development is encouraged.</li> </ul>	M
<ul style="list-style-type: none"> <li>▪ Building numbers and individual unit numbers should be readily visible, in a consistent location, well <u>lighted</u> at night, and compatible with the overall design of the development.</li> </ul>	M
<b>Pedestrian Circulation</b>	
<ul style="list-style-type: none"> <li>▪ <u>Pedestrian walkways should connect common areas (parking, open space, playground, etc.) to site buildings, sidewalks and adjacent parks.</u></li> </ul>	P
<ul style="list-style-type: none"> <li>▪ A continuous, clearly marked <u>walkway-pathways</u> should be provided from the parking areas to main entrances of buildings. Design walkways and parking lots <del>so to that</del><u>minimize</u> pedestrian <del>s will not have to</del><u>crossings</u> parking <del>aisles stalls</del> and landscape islands to reach building entries.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ On-site drop-off areas should be adjacent and parallel to streets and/or drive aisles to allow vehicles to get out of the main flow of traffic and stop. These include bus stops and pedestrian pick-up/drop-off areas.</li> </ul>	M
<ul style="list-style-type: none"> <li>▪ Convenient pedestrian connections should be provided to adjoining developments, commercial projects, and other compatible land uses.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Pedestrian access to adjacent existing or planned open space areas and corridors should be provided for the development's users.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Raised walkways, decorative paving, landscaping, and/or bollards that separate pedestrians from vehicular circulation are encouraged.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ <u>Development adjacent to Coastal Trail (Noyo Headlands Park) shall provide pedestrian access to the coastal trail.</u></li> </ul>	M
<b>Circulation and Parking</b>	
Safe and efficient parking and circulation arrangements take into consideration the needs of pedestrians, children at play, parking lot appearance, and prevention of car theft or damage.	
<ul style="list-style-type: none"> <li>▪ <del>Consolidation of parking in larger lots that serve many uses is preferred for larger projects and the Mill Site, to encourage a more pedestrian friendly development pattern.</del></li> </ul>	M

<ul style="list-style-type: none"> <li>▪ Parking lots should be well designed, with consideration given to landscaping, lighting, building massing, and pedestrian/vehicular circulation.</li> </ul>	M
<ul style="list-style-type: none"> <li>▪ Locate parking lots to the rear of buildings, along alleys, or on side streets to avoid conflicts on major streets. When this is not possible, design the primary entry to the lot with patterned concrete or pavers to differentiate it from the sidewalk.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Parking areas should be linked to adjacent public sidewalks, pedestrian walkways, alleys, and open space areas.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Parking should be designed for safe ingress and egress. Site plans should balance the need to provide adequate vehicular access with the need to eliminate unnecessary driveway entrances. Where feasible, reciprocal access should be provided on adjacent sites.</li> </ul>	M
<ul style="list-style-type: none"> <li>▪ Pedestrian connections and linkages within parking lots should have a well-defined separation from vehicle circulation.</li> </ul>	M
<ul style="list-style-type: none"> <li>▪ Parking lots shaded with solar panels are encouraged.</li> </ul>	MP
<ul style="list-style-type: none"> <li>▪ Pedestrian access from parking lots to building entries should be defined in the design of the parking lots, creating clear and visible walkways. In addition, walkways should be landscaped with shade trees or shrubs and other pedestrian amenities. Pedestrian connections should connect parking area to sidewalk through buffer areas at key locations.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ The use of brick, interlocking pavers, cobblestones and or permeable paving for drive isles and parking lots are encouraged.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ <del>Shared parking is encouraged. Parking areas serving multiple uses shall consolidate parking into larger lots. should be divided into a series of small parking courts with convenient access that relates to adjacent buildings/entrances.</del></li> </ul>	M
<ul style="list-style-type: none"> <li>▪ Special accents that define the main parking lot entry are strongly encouraged. Examples include entry signage with name of project, specialty lighting, textured paving, and accent landscaping.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Dead-end aisles are strongly discouraged.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ <del>Parking lot lighting fixtures shall be no taller than 16 feet in height and shall cast light downward without allowing glare or light to encroach upon neighboring properties.</del></li> </ul>	M
<b>Loading and Delivery</b>	
<ul style="list-style-type: none"> <li>▪ Loading and delivery service areas should be located and designed to minimize their visibility, circulation conflicts, and adverse noise impacts to the extent feasible.</li> </ul>	M
<ul style="list-style-type: none"> <li>▪ Loading and delivery areas should be screened with portions of the building, architectural wing walls, freestanding walls and/or landscaping <del>features planting. are strongly encouraged.</del></li> </ul>	M
<b>Additions, Remodels &amp; Renovations</b>	
<ul style="list-style-type: none"> <li>▪ The design of a proposed addition should follow the general scale, proportion, massing, and detailing of the original structure. New additions should be interpretations of, or improve upon, the design of the existing structure wherein the main characteristics of the existing building are incorporated or improved upon using modern construction methods. This may include: <ul style="list-style-type: none"> <li>○ Using similar proportions</li> <li>○ Extending the architectural lines from the existing building to the addition</li> <li>○ Sensitivity to the patterns of window and entrance spacing and openings</li> <li>○ Harmonizing with existing colors and materials</li> <li>○ Inclusion of similar architectural details (i.e. window/door trim, lighting fixtures, decoration)</li> </ul> </li> </ul>	M
<ul style="list-style-type: none"> <li>▪ Building materials used for the addition shall <del>ould</del> be <del>the same or better</del> comparable or better- quality than the existing building.</li> </ul>	M
<ul style="list-style-type: none"> <li>▪ When original decorative details and architectural elements were covered up in previous remodeling, these forgotten details should be restored and incorporated in the design of the remodeled building.</li> </ul>	MP

<ul style="list-style-type: none"> <li>▪ <del>Damaged historic architectural features should be repaired rather than replaced whenever possible. If replacement is necessary, new materials should match the original material being replaced in terms of color, texture, and other important design features. Likewise for historic building, existing building elements and materials that are incompatible with the original design of the building should be removed. These include inappropriate use of exterior embellishments and modernized elements that are in sharp contrast to the building's original design.</del></li> </ul>	M
<ul style="list-style-type: none"> <li>▪ Introducing or changing the location, size, or style of windows or other openings that alter the architectural rhythm or character of the original building is discouraged.</li> </ul>	P
<b>Garages and Ancillary Structures</b>	
<ul style="list-style-type: none"> <li>▪ Accessory structures should be complementary in form, material, and color to the primary buildings.</li> </ul>	M
<ul style="list-style-type: none"> <li>▪ The number of accessory structures shall be minimized; uses shall be combined where possible into one accessory structure.</li> </ul>	M
<ul style="list-style-type: none"> <li>▪ <del>Refuse and recycling storage areas <u>are encouraged to be covered.</u>, propane and heating fuel tanks, fire check valves, and other mechanical features should be:</del></li> <li>▪ <del>Located in convenient and less visible areas of the site, such as inside parking courts, or at the end of parking bays.</del></li> <li>▪ <del>Well screened in compliance with requirements of the Development Code. Screening should be of the same type of material as, or complementary to, the material used on the main building. Landscaping should be provided where possible.</del></li> </ul>	PM
<ul style="list-style-type: none"> <li>▪ _____</li> </ul>	M

Special Use Commercial Design Guidelines	
<b>Auto Repair Services</b>	
Adequate storage for vehicles under service can be a major problem with auto repair and service facilities, resulting in cars parked on the streets, landscaping, and neighboring properties. Additionally, noise, traffic, and hazardous materials associated with these uses can also be problematic. The intent of these guidelines is to ensure that these facilities are more compatible with their surroundings.	
▪ Service/work bays should be oriented so that the interiors are not visible or audible from adjacent public streets, residential structures, or active open space. If such an arrangement is not possible, dense landscaping and/or screen walls should be used.	P
▪ Parking spaces for vehicles stored for repair should be located in the least visible areas of the site. Surface parking lots should be screened with active building space, fencing, art and/or landscaping to provide a visual buffer between the public right of way and stored vehicles.	M
▪ Sufficient space for vehicle drop-off should be provided. Site design should provide space for vehicle stacking during peak hours.	P
▪ Special design considerations should be made for the storage of oil, lubricants and other potentially hazardous materials.	M
▪ Compressors and pneumatic equipment should be used in enclosed structures.	M
▪ Adequate storage and trash areas should be designed to accommodate disposal of junk parts, packing, and used oil and lubricants.	M
<b>Service Stations</b>	
Design issues associated with service stations tend to be related to traffic, aesthetics, and storage. The following design guidelines are intended to improve the compatibility and appearance of service stations.	
▪ Buildings containing service or car wash bays should not face toward a public street nor adjacent residential property.	P
▪ The site design for projects located at street corners should provide a strong design element at the corner to help frame the public right-of-way and anchor the corner.	P
▪ The site design should accommodate circulation and traffic volumes, minimizing paving and soften paved areas with w landscaping.	P
▪ <b>Driveway cuts should be limited to two per site.</b>	M
▪ Each pump island should include a vehicle stacking area for at least three vehicles on at least one end of the pump island.	M
<b>Drive-Through Businesses</b>	
Design challenges for drive through businesses include efficient and well-organized vehicular access, onsite circulation, buffering of adjacent uses, noise, light and glare, and outdoor storage.	
▪ The building should be the dominant visual feature from the street frontage, not the parking lot or the drive-through aisle.	M
▪ Drive-through aisles should be located at the rear of the building away from the street frontage whenever possible. If the drive-through aisle is located between the building and the street, dense landscaping and landscaped berms should be provided to screen the drive-through aisle from view from the street.	M
▪ Drive-through lanes should accommodate vehicle stacking at the menu board and at the pick-up windows to ensure adequate circulation.	M
▪ Drive through lanes and loading/unloading areas should be located as far as possible from residential properties.	M
▪ Outdoor eating areas are encouraged and should include details such as trellises, low walls, fountains, etc.	P
▪ Franchise formula architecture is strongly discouraged. Franchise identifying features should be limited to the company's logo and signs.	M
▪ Drive throughs should have a waiting area.	P

<b>Hotels and Motels</b>	
In Fort Bragg, many hotels are visible from Main Street and/or the California Coastal Trail, making their design and impact particularly important. These guidelines are intended to provide flexibility in the architectural design while respecting the sensitive coastal setting. Hotel development must also conform with the overall design guidelines.	
<ul style="list-style-type: none"> <li>Design of hotels and motels should draw upon the architecture of historic hotels in California for inspiration and design features, materials, and color.</li> </ul>	P
<ul style="list-style-type: none"> <li>Walkway, stairway, balcony railings, and other similar architectural details should be consistent with basic building design.</li> </ul>	M
<ul style="list-style-type: none"> <li>For structures over two stories, access to guestrooms should be provided from the hallway interiors.</li> </ul>	P
<ul style="list-style-type: none"> <li>Roof forms typical of residential buildings such as gable, hip or shed roof combinations are strongly encouraged.</li> </ul>	P
<ul style="list-style-type: none"> <li>Parking, delivery and loading area, and mechanical equipment should be screened from parks and pedestrian oriented streets with buildings and landscaping.</li> </ul>	P
<ul style="list-style-type: none"> <li>Hotels adjacent to, or across from, the Coastal Trail and parkland are subject to the following specific design guidelines, in addition to all the remaining relevant guidelines. <ul style="list-style-type: none"> <li>Properties shall provide pedestrian connections to the Coastal Trail</li> <li>Hotels what provide a pedestrian friendly building frontage that faces the Coastal Trail;</li> <li>All buildings shall be architecturally complete when viewed from the Coastal Trail;</li> <li>All fences and walls should frame and protect views to coast;</li> <li>All buildings shall be sided with natural or natural appearing materials that have been proven to perform in harsh coastal environments; and</li> <li>All structures shall be of muted colors of natural tones.</li> </ul> </li> </ul>	M
The architecture should invoke a style of a rural cluster of bungalows or other small coastal hotel vernacular	P
<ul style="list-style-type: none"> <li>Surface parking lots should be screened with active building space, art, landscaping, etc. to provide a buffer between the public right of way and vehicles while still allowing for visibility. Delivery and loading areas should be located toward the rear of the property and screened to minimize impact on incompatible uses.</li> </ul>	M

<b>Mixed Use Development</b>	
Mixed use projects combine both commercial and residential uses on the same parcel, either in separate (horizontal mixed use) building or the same building (vertical mixed use). The design standards for each use in the mixed-use project shall apply to the project. For example if the project consists of a mixed use retail and residential development in the downtown, it shall comply with the design guidelines for the CBD and residential development, as well as the guidelines outlined below.	
<b>Site Planning</b>	
<ul style="list-style-type: none"> <li>Loading areas and refuse storage facilities for the commercial use should be located as far as possible from residential units and should be completely screened from view from adjacent residential portions of the project or another adjacent residential uses. The location and design of refuse storage facilities should mitigate nuisances from odors when residential uses might be impacted.</li> </ul>	P
<ul style="list-style-type: none"> <li>Residential buildings should be arranged to create opportunities for common open space for the residential use. Common open space areas should be completely separated from other uses on the site and should provide a semi-private gathering place for residents.</li> </ul>	P
<b>Architecture</b>	
<ul style="list-style-type: none"> <li>The architectural style and use of materials should be consistent throughout the entire mixed use project. However, differences in materials and/or architectural details may differentiate the residential portion of the project from the commercial portion of the project.</li> </ul>	P
<ul style="list-style-type: none"> <li>When residential &amp; commercial uses are in the same structure, separate pedestrian entrances should be provided for each use.</li> </ul>	M
<ul style="list-style-type: none"> <li>All roof-mounted equipment should be completely screened from views above. Special consideration should be given to the location and screening of noise generating equipment such as refrigeration units, air conditioning, and exhaust fans so that they don't disturb residences.</li> </ul>	M
<b>Residential Design Guidelines</b>	
All multi-family residential development must also conform with the overall design guidelines.	
<b>Site Planning - New Single Family Subdivisions</b>	
<ul style="list-style-type: none"> <li>Residential structures should be oriented and placed for: 1) energy access and efficiency; and 2) to improve the streetscape with front doors and porches facing the street and garages and parking pulled behind the buildings to reduce their dominance.</li> </ul>	P
<ul style="list-style-type: none"> <li>Variation of development patterns within new neighborhoods is necessary to achieve visual diversity and avoid a monotonous appearance. One or more of the following techniques should be incorporated into the project's design to help achieve diversity. <ul style="list-style-type: none"> <li>Varied front yard setbacks – Placement of homes and garages close to or back from the street creates different patterns of visible open space. The structures themselves, when close to the street, also add diversity to the view.</li> <li>Varied lot widths &amp; sizes – Making some lots wider, and some narrower, than the average lot provides different amounts of open area between structures. It also allows placement of different sizes and shapes of homes that give a neighborhood more character and individuality.</li> </ul> </li> </ul>	-
<b>Site Planning - New Multi-Family Developments</b>	
<ul style="list-style-type: none"> <li>New multi-family residential structures should be compatible with other development in the immediate area. New structures should complement existing development through scale, proportion, height, form, style, siting, and relationship to surrounding structures.</li> </ul>	P
<ul style="list-style-type: none"> <li>Buildings should be oriented toward the street. Buildings should be oriented to provide some privacy yet still relate to the street and the existing community. Doors should be visible from the street and windows should allow residents to have “eyes on the street” for natural surveillance.</li> </ul>	M



<ul style="list-style-type: none"> <li>▪ In addition to a street orientation, the clustering of multi-family units should be a consistent site planning element. Whenever possible, buildings should be configured around courtyards, gathering areas, and open spaces.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Mailboxes should be located in highly visible, heavy use areas for convenience, to allow for casual social interaction, and to promote safety. A bench or seating area in close proximity to the mailbox location is strongly encouraged. A recycling receptacle should be located adjacent to the mailboxes.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Clusters of smaller buildings (with one to 6 units) are preferred over large buildings with more than 6 units per building.</li> </ul>	P
<5,000 SF	
<b>Architectural Design</b>	
<ul style="list-style-type: none"> <li>• Architectural styles should reflect traditional patterns of architecture on Northern California Coast, including: New England Salt Box, Cottage, Victorian, Italianate, Craftsman, Vernacular, or modern interpretations of these styles.</li> </ul>	P
<ul style="list-style-type: none"> <li>• The design of houses should be varied within new neighborhoods to create diversity and interest. Housing on a street should include variability in massing, composition, architectural style, finish materials and colors. Repeating designs are permissible, only if the quality of the design is excellent and repetition is part of the architectural style. Repetitive units should not comprise more than eight units in a row or 50% of the units on any single block, whichever is more.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Use of single-family residential design elements (e.g., pitched roofs, porches, individual entries) are recommended to reduce perceived density, give identity to the development and its individual dwelling units, add visual interest, and be compatible with the neighborhood context.</li> </ul>	P
<ul style="list-style-type: none"> <li>• Buildings with height greater than two stories that step back the structure on the upper floor from the street and public spaces are encouraged.</li> </ul>	P
<ul style="list-style-type: none"> <li>• Carports and detached garages should be designed as an integral part of the development's architecture. They should be similar in material, color, and detail to the main buildings of the development. Flat roofs should be avoided. Prefabricated metal carports should not be used.</li> </ul>	M
<b>Open Space &amp; Outdoor Play Areas</b>	
<ul style="list-style-type: none"> <li>• A series of connected open space areas of varying shape, appearance and usage are encouraged.</li> </ul>	-
<ul style="list-style-type: none"> <li>• Boundaries between private and common open spaces should be clearly defined by low walls or plant materials.</li> </ul>	-
<ul style="list-style-type: none"> <li>• Children's play areas should be visible from as many units as possible and from private open space areas. Direct convenient access from private open space to the communal play area is encouraged.</li> </ul>	P
<ul style="list-style-type: none"> <li>• Outdoor play areas should be located adjacent to laundry rooms, community centers, or similar common facilities. Play areas should not be located near public streets, parking, or entry areas unless physically separated by appropriate walls, fencing, or dense landscaping.</li> </ul>	P
<ul style="list-style-type: none"> <li>• Hard surface areas for outdoor activities (e.g., bicycle riding, skating, rope jumping, and hopscotch) should be provided. These active play areas should be safely separated from vehicular use areas.</li> </ul>	-
<ul style="list-style-type: none"> <li>• <b>Larger projects in new developments should include bike paths as part of the street section, where feasible. Additionally, landscaping should be provided between the sidewalk and the street.</b></li> </ul>	-
<ul style="list-style-type: none"> <li>• In larger developments, separate, but not necessarily segregated, play areas or informal outdoor spaces should be provided for different age groups for safety reasons. Small developments may combine play areas (e.g., a tot lot incorporated into a larger activity area for older children).</li> </ul>	-

- Seating areas should be provided where adults can supervise children's play and also where school-age children can sit. Seating location should consider comfort factors, including sun orientation, shade, and wind.

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<b>Mixed Use Development</b>	
Mixed use projects combine both commercial and residential uses on the same parcel, either in separate (horizontal mixed use) building or the same building (vertical mixed use). The design standards for each use in the mixed-use project shall apply to the project. For example if the project consists of a mixed use retail and residential development in the downtown, it shall comply with the design guidelines for the CBD and residential development, as well as the guidelines outlined below.	
<b>Site Planning</b>	
<ul style="list-style-type: none"> <li>▪ Loading areas and refuse storage facilities for the commercial use should be located as far as possible from residential units and should be completely screened from view from adjacent residential portions of the project or another adjacent residential uses. The location and design of refuse storage facilities should mitigate nuisances from odors when residential uses might be impacted.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ Residential buildings should be arranged to create opportunities for common open space for the residential use. Common open space areas should be completely separated from other uses on the site and should provide a semi-private gathering place for residents.</li> </ul>	P
<b>Architecture</b>	
	<5,000 SF
<ul style="list-style-type: none"> <li>▪ The architectural style and use of materials should be consistent throughout the entire mixed use project. However, differences in materials and/or architectural details may differentiate the residential portion of the project from the commercial portion of the project.</li> </ul>	P
<ul style="list-style-type: none"> <li>▪ When residential &amp; commercial uses are in the same structure, separate pedestrian entrances should be provided for each use.</li> </ul>	M
<ul style="list-style-type: none"> <li>▪ All roof-mounted equipment should be completely screened from views above. Special consideration should be given to the location and screening of noise generating equipment such as refrigeration units, air conditioning, and exhaust fans so that they don't disturb residences.</li> </ul>	M

## Proposed Guidelines

Guideline Type	M or P
<b>Site Planning</b>	
Buildings should be constructed near or along the front property line(s). <u>The minimal allowable A- setback should be used</u> <del>“zero setback”</del> from the <u>primary front</u> <del>front</del> property line(s) is encouraged.	<b>P</b>
<del>Shorter block lengths are encouraged.</del> <u>On larger parcels, projects should provide mid-block</u> pass-throughs or plazas to facilitate pedestrian access to parking areas and surrounding uses and to create pedestrian gathering spaces.	<b>P</b>
When a front setback <u>is required, amenities shall be provided to</u> <del>is necessary, a majority of the setback shall be hardscaped with limited landscaping to</del> accommodate uses that keep the public realm active, such as outdoor dining and seating.	<b>M</b>
<u>New structures or additions should be located to reduce impact to neighboring structures, trees, and other natural features.</u>	
<b>Site Amenities</b>	
Outdoor Space. include publicly accessible, designed outdoor space for resident and public use, that is proportionate to the size of the proposed buildings. Public spaces can include plazas, parks, courtyards, corridors, sidewalk cafes, trails, outdoor seating areas and/or similar active and passive areas. Public spaces should be located in visually prominent, accessible and safe locations that promote year-round activity.	<b>M</b>
Useable open space or public gathering places accessible to the community (e.g., a roof garden, expanded waiting area adjacent to a bus stop, etc.) shall be provided on larger projects.	<b>M</b>
Landscaping, shade trees, and benches shall be incorporated into the site design as well as outdoor dining areas to encourage pedestrian activity on the ground floor level of a building.	<b>M</b>
<u>Carports and garages shall be an integral part of the architecture of the site.</u>	<b>M</b>

<u>Pathways should be meandering to provide connectivity and maintain a natural aesthetic as opposed to long and straight pathways.</u>	<b><u>P</u></b>
<b>Street Design</b>	
Street Design. interior to each development, the pedestrian-oriented street design should include on-street, diagonal or parallel parking; wide pedestrian walkways along building frontages; street trees in tree grates or planting beds; and/or bulb-outs. <u>-with contrasting pavement at pedestrian crossings.</u> Pedestrian crossings shall be included at regular intervals along the internal roadway system for maximum connectivity. <u>Center median landscaping is encouraged.</u>	<b>P</b>
<u>Design landscaping islands and walkways to connect building entries where possible.</u>	<b><u>P</u></b>
Minimize conflicts between pedestrians and vehicles by limiting curb cuts. Provide shared curb cuts between adjacent properties in multi-site developments wherever possible.	<b>P</b>
<b>Compatibility with Adjacent Uses</b>	
To ensure and protect the privacy of residents in adjacent single-family homes, windows in mixed-use projects facing single-family residences within 15 feet of the property line, shall be carefully arranged. Examples of privacy options include translucent or louvered windows, offset window patterns, <u>or clerestory windows</u> <del>and locating windows five feet above the floor level.</del>	<b>M</b>
<u>A. 5. Site planning and building design shall provide for convenient pedestrian access from the public street into the nonresidential portions of the project, through such means as courtyards, plazas, walkways, and street furniture.</u>	
Upper floors of mixed-use buildings shall be stepped back when adjacent to single-family <del>r</del> Residences.	<b>M</b>
Mixed-use projects shall be designed to minimize vehicular circulation on streets through local single-family neighborhoods.	<b>M</b>
<u>New development over a single story shall be designed in a way to minimize impact to natural ventilation and solar access on adjacent properties.</u>	<b><u>M</u></b>
<u>Use specific buffer zones for incompatible land uses.</u>	
<b>Construction Between Uses</b>	

Common walls between residential and non-residential uses shall be constructed to minimize the transmission of noise and vibration.	<b>M</b>
Where practical, mechanical equipment and other sources of noise <del>should</del> be located away from building areas and exterior spaces designed for use by residents.	<b>P</b>
<u>A.2. Potential glare, noise, odors, traffic, and other potential nuisance conditions for residents shall be minimized to allow a compatible mix of residential and nonresidential uses on the same site.</u>	
<u>Orient buildings to minimize impact on natural ventilation and natural daylight for residences.</u>	<b>M</b>
<b>Site Lighting</b>	
<u>Site lighting should minimize impact between the various uses (i.e. shielding commercial lighting from residential uses).</u>	<b>M</b>
<u>D.3. Loading areas. Commercial loading areas shall be located away from residential units and shall be screened from view from the residential portion of the project to the maximum extent feasible.</u>	

Overall Sign Guidelines	M=mandatory, P=Preferred	Within Municipal Code?	Get rid of?	M or P?
§ Signs should be designed to relate to the architectural features of the building on which they are located and create visual continuity with other storefronts on the same or adjacent building.		No		M
§ Signs that reflect the type of business through design, shape, or graphic form are encouraged.		No		P
· Signs should coordinate with the building design, materials, color, size, and placement.				M
· Signs that align with others on adjacent building facades are generally preferred.				P
<b>Sign Legibility</b>		<b>Consider Removing or eliminating most standards</b>		
· Use a brief message. The fewer the words, the more effective the sign's message. A sign with a brief, succinct message is simpler and faster to read, looks cleaner, and is generally more attractive.		Yes 18.36.060(F)(3)		P
· Use easy to read lettering styles. Typefaces that are difficult to read reduce the sign's ability to communicate. Avoid spacing letters and words too close together.		No		
· Lettering should not occupy more than 75 percent of the sign face.		Conflicts with 18.36.060(F)(4)		P
<del>— Limit the number of lettering styles in order to increase legibility: no more than two lettering styles for small signs (generally up to 10 square feet) and three for larger signs.</del>		No		P
· Encourage unique signs, but avoid typefaces that are too faddish or bizarre.		No		P
· Use significant contrast. Generally, light colored letters and a darker, contrasting background presents the most visible and best-looking image.		No		P
· Use symbols and logos. Pictographic images will usually register more quickly in the viewer's mind than a written message.		No		P
· Signs, which advertise the occupant business through the use of graphic or crafted symbols, such as shoes, keys, glasses, or books, are encouraged.				P
Figurative signs may be incorporated into any of the allowable sign types identified above.		Yes 18.38.080 E(4)		P
<b>Sign Placement</b>				
· Hanging signs attached to buildings that project perpendicular to the building are encouraged in pedestrian areas.		No		P
· Signs should be placed at or near the public entrance to a building or main parking area to indicate the most direct access to the business.		No		P
· Signs should be sized and placed consistent with the proportions of the building's façade. For example, a particular sign may fit well on an upper, more basic wall, but would overpower and obstruct the finer detail of a lower storefront area. A sign appropriate near the building's entry may look tiny and out of place above the ground level.		No		P
· Signs should not cover or interrupt the architectural details or ornamentation of a building's façade.		Yes 18.38.030 D(3)		P
· Signs should not project above the edge of the rooflines and should not obstruct windows and/or doorways.		Yes 18.38.080 E(2)		M
· The location and extent of signs and advertising should not obstruct scenic views.		No		M
<b>Sign Color</b>				
· Three or fewer colors are encouraged on a single sign.		No		P
· Contrast is an important influence on the legibility of signs. The most aesthetic and effective graphics are produced when light colored letters and images are placed on a dark contrasting colored background.		No		P
<del>— Sign colors should relate to and complement the materials or color scheme of the buildings, including accent and trim colors.</del>		Yes? 18.38.060(E)(1)		P
· Bright day-glo (fluorescent) colors are prohibited as they are distracting.		No		M

Colors on signs and structural members should be harmonious with one another and relate to the dominant colors of the other structures on the site

**Sign Materials**

- Sign materials should be selected with consideration for the architectural design of the building’s façade. Sign materials should complement the materials on the façade and should contribute to the legibility of the sign. Yes? 18.38.060(E)(3)(a)
- Sign materials should be durable. The following sign materials are encouraged for downtown Fort Bragg: No
  - o Wood (carved, sandblasted, etched, properly sealed and painted, or stained); Wood should be properly sealed to minimize moisture damage.
  - o Metal (formed, etched, cast, engraved, and properly primed and painted or factory coated to protect against erosion)
  - o Subtle custom neon tubing incorporated into sign or reminiscent of historic signs

**Draft ugly sign guideline related to sign cabinet**

**Sign Illumination**

- Lighting of all exterior signs should be directional to illuminate the sign without producing glare on pedestrians, autos, or adjacent residential units. Yes 18.38.060(G)(1)
- Indirect sign illuminated is preferred. No
- Whenever indirect lighting fixtures are used, care shall be taken to properly shield the light source. Somewhat? 18.38.060(G)(1)
- The use of backlit, individually cut letter signs is strongly encouraged for all types of business and signs, including monument-type signs. No
- Internally-illuminated cabinet-type signs are discouraged. If internally illuminated cabinet signs are used, their sign panels should be opaque so that when illuminated only the lettering, not the background, is illuminated. The background or field should have a non-gloss, non-reflective finish. White and light backgrounds are prohibited for internally illuminated cabinet signs. No
- Blinking, rotating, flashing, changing, or reflecting lights are highly prohibited. Yes 18.38.060(G)(3)
- Neon lighting is discouraged for the lettering of the sign except neon lettering that has a historic quality; innovative use of neon for images or logos may be appropriate. No
- Electrical transformer boxes and raceways should be concealed from public view. If a raceway cannot be mounted internally behind the finished exterior wall, the exposed metal surfaces of the raceway should be finished to match the background wall, or integrated into the overall design of the sign. If raceways are necessary, they should be as thin and narrow as possible and should never extend in width or height beyond the area of the sign’s lettering or graphics. All exposed conduit and junction boxes should be appropriately concealed from public view. No

**Exterior sign lighting shall be dimmed or turned off after 10PM when located directly adjacent to residential sites.**

**Sign lighting should maintain a Kelvin color temperature below 4,500 Kelvin.**

**Wall Signs**

- A wall sign should be located where the architectural features or details of the building suggest a location, size, or shape for the sign. The best location for a wall sign is generally a blank area between the first and second floors of a building. No
- Wall signs should not project from the surface upon which they are attached more than that required for construction purposes and in no case more than 6 inches. Yes (but conflict) 18.38.080(G)(3)
- Wall signs and “ghost” signs painted directly on a structure may be appropriate in some cases. On historic structures ghost signs often lend an air of age and authenticity. No

**Projecting Signs**

a. Sign materials (including framing and supports) shall be representative of the type and scale of materials used on the primary on-site structure and on other on-site signs.

External light sources shall be directed and shielded so that they do not produce glare on any object other than the sign, and/or off the site of the sign.

3. A wall sign shall not project more than 12 inches from the surface to which it is attached.

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- Small, pedestrian-oriented signs are strongly encouraged. Projecting signs are especially appropriate in downtown Fort Bragg and Neighborhood Commercial developments. No
- Projecting signs should be used for ground floor uses only. On a multi-storied building, the sign should be suspended between the bottom of the second story windowsills and the top of the doors or windows of the first story. No
- Projecting signs should be hung at a 90-degree angle from the building face. The distance between projecting signs should be at least 25 feet. No
- Sign supports and brackets should be compatible with the design and scale of the sign and the architectural design of the building. Decorative iron and wood brackets are encouraged. No
- Internal illumination of projecting signs is discouraged. No
- Where overhangs or covered walkways exist, pedestrian-oriented hanging signs are encouraged. No

**Awning Signs**

- Awning signs are appropriate for ground and second floor uses. Yes 18.38.080(B)(1)
- Sign text should be located only on the valance portion of the awning. Letter color should be compatible with awning and building colors. No
- Backlit, internally illuminated awnings are prohibited. Yes 18.38.080(B)(2)
- Only permanent signs that are an integral part of the canopy or awning should be used. Awning signs should be painted directly on the awning. No

Materials intended for a coastal climate are preferred.

**Window Signs**

- Window signs (permanent or temporary) shall not cover more than 20-percent of the area of each window. Yes 18.38.080(H)(1)
- Window signs should be individual letters placed on the interior surface of the window and intended to be viewed from outside. White and gold-leaf paint are the recommended. Glass-mounted graphic logos are also appropriate. No
- The text or sign copy of a window sign should be limited to the business name, and brief messages identifying the product or service (e.g. “maternity wear” or “attorney”), or pertinent information (e.g. “reservations required”). No

**Monument Signs**

- Freestanding monument signs (on ground) are strongly encouraged over pole signs. No
- Monument signs may be internally illuminated, however, the sign copy should be the only portion of the sign face that is illuminated. The sign background or field should be opaque with a non-gloss, non-reflective finish. Signs with individual back-lit letters, or stenciled panels with three-dimensional push-through graphics are encouraged. No
- Monument signs should be placed perpendicular to the street. No
- Monument signs should be placed so that sight lines at entry driveways, pedestrian throughways, and circulation aisles are not blocked. No
- Monument signs should be designed to create visual interest and compliment their surroundings. Monument signs should incorporate architectural elements, details, and articulation as follows: No
  - o Provide architectural elements on the sides and top to frame the sign pane(s). Use columns, pilaster, cornices, and similar details to provide design interest. No
  - o Incorporate materials and colors into the sign support structures to match or be compatible with materials and colors of the development the sign serves so it does not appear out of scale with its adjacent building(s). No
- Monument signs shall incorporate landscaping at their base. Landscaping around monument signs should be designed to ensure the long-term readability of the sign.

**Pole Signs**

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No section in code related to monument signs

- Pole-mounted signs are discouraged for parcels with less than 100 feet of street frontage as such signs would typically be out of scale with smaller parcels and would allow tall signs too close together, which would disrupt visibility. No
- Pole signs incorporate architectural elements into the sign portion of the sign as well as the supporting structure. No
- Pole signs may be internally illuminated, however, the sign copy should be the only portion of the sign face that is illuminated. No
- Pole signs should incorporate a landscaped area at the base of the sign equal to one to two times the size of the sign face. No

Pole signs are prohibited in the Central Business District.

Staff Drafted Guidelines

**Exterior sign lighting shall be dimmed or turned off after 10PM or 45 minutes after the closing of business.**

Work on language

**Exterior sign lighting should not have a color temperature above 4500 Kelvin.**

**Should a sign cabinet be made out of a plastic material, it should emulate preferred sign materials (i.e. wood or metal).**

Notes:

Craft guideline related to dimming signage near residential.

Craft guideline related to Kelvin (hue)

**What would you like to see or add for signs? Research**

Look into preventing corporate signs? Is this an issue?

Illumination and materials - terminology of modern signage

Dimming of signage at certain times and zones (Could this be added to our guiding principles?)

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## Overall Sign Guidelines

M=mandatory, P=Preferred

P or M?

- Signs that align with others on adjacent building facades are generally preferred.

P

## Sign Legibility

- Use easy to read lettering styles. Typefaces that are difficult to read reduce the sign's ability to communicate. Avoid spacing letters and words too close together.

P

- Lettering should not occupy more than 75 percent of the sign face.

X

## Sign Placement

- Signs should be placed at or near the public entrance to a building or main parking area to indicate the most direct access to the business.

P

- Signs should be sized and placed consistent with the proportions of the building's façade. For example, a particular sign may fit well on an upper, more basic wall, but would overpower and obstruct the finer detail of a lower storefront area. A sign appropriate near the building's entry may look tiny and out of place above the ground level.

P

- Signs should not cover or interrupt the architectural details or ornamentation of a building's façade.

P

If determined to be covered in other signs guidelines, change or remove guideline

## Sign Color

- Sign colors should relate to and complement the materials or color scheme of the buildings, including accent and trim colors.

X

## Sign Materials

- Sign materials **and colors** should be selected with consideration for the architectural design of the building's façade. Sign materials **and colors** should complement the materials on the façade and should contribute to the legibility of the sign.

M

## Wall Signs

- A wall sign should be located where the architectural features or details of the building suggest a location, size, or shape for the sign. The best location for a wall sign is generally a blank area between the first and second floors of a building.

P

## Awning Signs

- Sign text should be located only on the valance portion of the awning. Letter color should be compatible with awning and building colors.

P