

BEST DEVELOPMENT GROUP

NE CORNER OF SOUTH ST. AND S. FRANKLIN ST.
FORT BRAGG, CA 95437

VICINITY MAP



PROJECT DESCRIPTION

NEW GROCERY STORE BUILDING - INCLUDING, BUT NOT LIMITED TO, RACKING, REFRIGERATED CASES, COOLERS, FREEZER, AND ASSOCIATED EQUIPMENT AND SITE IMPROVEMENTS.

GENERAL SCOPE OF WORK

- NEW GROCERY RETAIL BUILDING WITH EXTERIOR MASONRY WALLS WITH EIFS FINISHES
- WOOD TRUSSES AND GLULAM STRUCTURE WITH PLYWOOD DECK
- METAL STUD FRAMING
- INTERIOR FINISHES
- TOILET ROOMS
- OFFICE AND BREAKROOM
- COOLER AND FREEZER
- STOCKROOM EQUIPMENT
- EXTERIOR BUILDING SIGNAGE (UNDER SEPARATE PERMIT)
- ON AND OFF SITE IMPROVEMENTS - GRADING, DRAINAGE, UTILITIES AND LANDSCAPING

CODE SUMMARY

APPLICABLE CODES

BUILDING CODE: 2016 CALIFORNIA BUILDING CODE (CBC)
 MECHANICAL CODE: 2016 CALIFORNIA MECHANICAL CODE (CMC)
 PLUMBING CODE: 2016 CALIFORNIA PLUMBING CODE (CPC)
 ELECTRIC CODE: 2016 CALIFORNIA ELECTRIC CODE (CEC)
 ACCESSIBILITY CODE: 2016 CALIFORNIA BUILDING CODE CHAPTER 11B
 ENERGY CODE: 2016 STATE OF CALIFORNIA ENERGY CODE
 FIRE CODE: 2016 CALIFORNIA FIRE CODE (CFC)

BUILDING CODE ANALYSIS

USE GROUP: M-MERCANTILE
 USE GROUP: S1-STORAGE
 TOTAL GROSS SQUARE FOOTAGE: 16,888 SF
 FIRE PROTECTION: FULLY SPRINKLERED
 APN#: 338-012-43

CONSTRUCTION TYPE

CONSTRUCTION TYPE: III-B
 FULLY SPRINKLERED

ISSUE BLOCK

NO.	DATE	DESCRIPTION

DATE: 05/29/19

DRAWN BY: JRZ

CHECKED BY:

JOB # 62930117

SHEET TITLE

COVER SHEET

SHEET NO.

G1



ARCHITECT OF RECORD:
 JAMES A. HALEY
 6700 ANTIOCH PLAZA
 SUITE 300
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CONSULTANT

GROCERY OUTLET
 berrain market
 825 SOUTH FRANKLIN STREET
 FORT BRAGG, CA 95437

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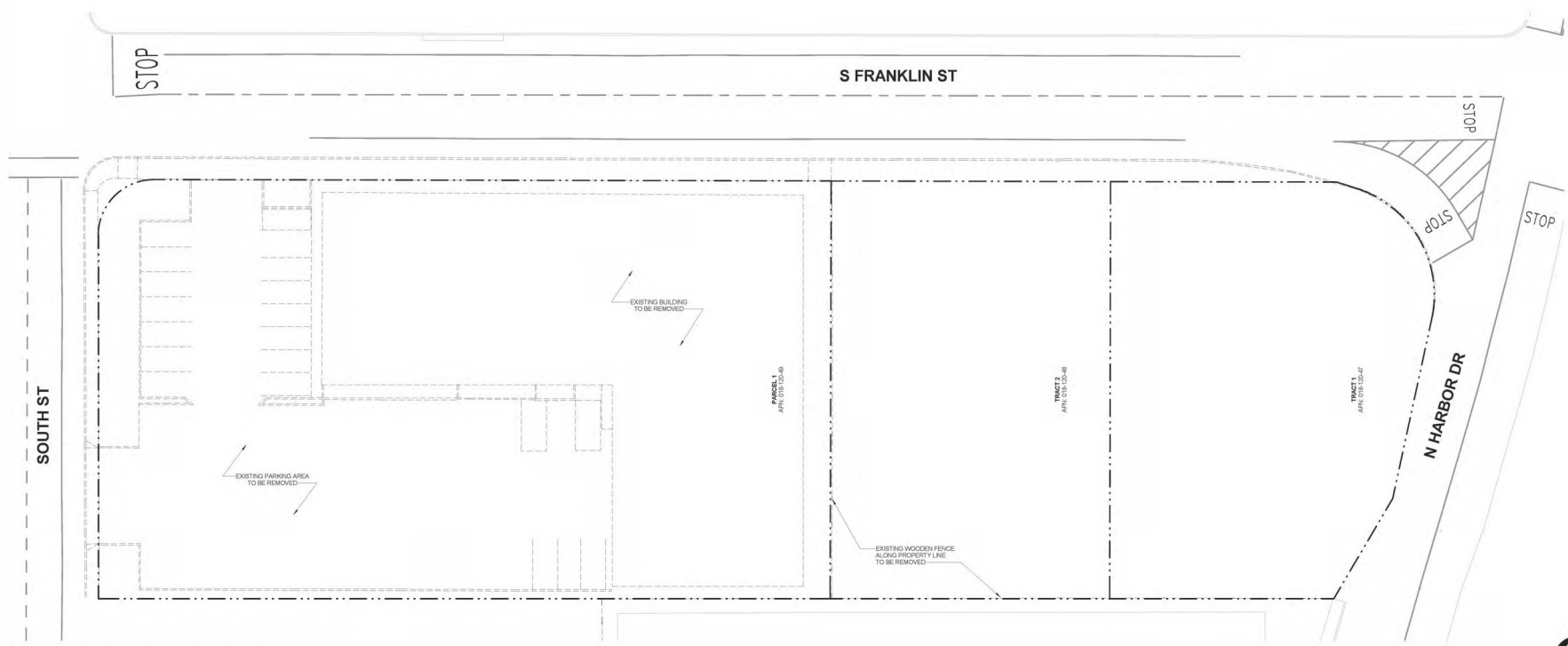
1 EXISTING SITE PLAN
TRIP-7-147



LEGEND

----- PROPERTY LINE

----- DEMOLISH EXISTING



brr

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CONSULTANT

GROCERY OUTLET
redefine marketssm
825 SOUTH FRANKLIN STREET
FORT BRAGG, CA 95637

ISSUE BLOCK

NO.	DATE	DESCRIPTION

DATE: 05/09/19
DRAWN BY: Author
CHECKED BY:
JOB # 62930117

SHEET TITLE
SITE DEMO

SHEET NO.
SD1

LEGEND

	AC PAVEMENT
	LANDSCAPE AREA
	TRUNCATED DOMES
	PROPERTY LINE
	SET BACK
	DECORATIVE PAVING
	PERMEABLE PAVEMENT

SITE INFORMATION

ZONE: GENERAL COMMERCIAL

COMBINED PARCEL SIZE: 1.80 ACRES
149,87' x 432' 4"
69,692 SQFT

BUILDING AREA: 16,000 SQFT

LANDSCAPE AREA REQUIRED: 10%

LANDSCAPE AREA PROVIDED: 20% (18,200 SQFT)

PARKING LOT LANDSCAPE AREA REQUIRED: 10%

PARKING LOT LANDSCAPE AREA PROVIDED: 13%

CALCULATION: 141.8 SF LANDSCAPED AREA / 268.75 SF TOTAL PARKING AREA (25,055 + 3,918) = 132% > 10%

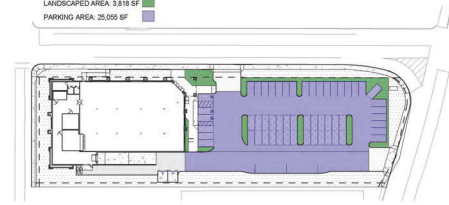
HARDSCAPE AREA: 34,581 SQFT

LOI COVERAGE: 23%

LANDSCAPE KEY PLAN:

LANDSCAPED AREA: 3,818 SF

PARKING AREA: 25,055 SF

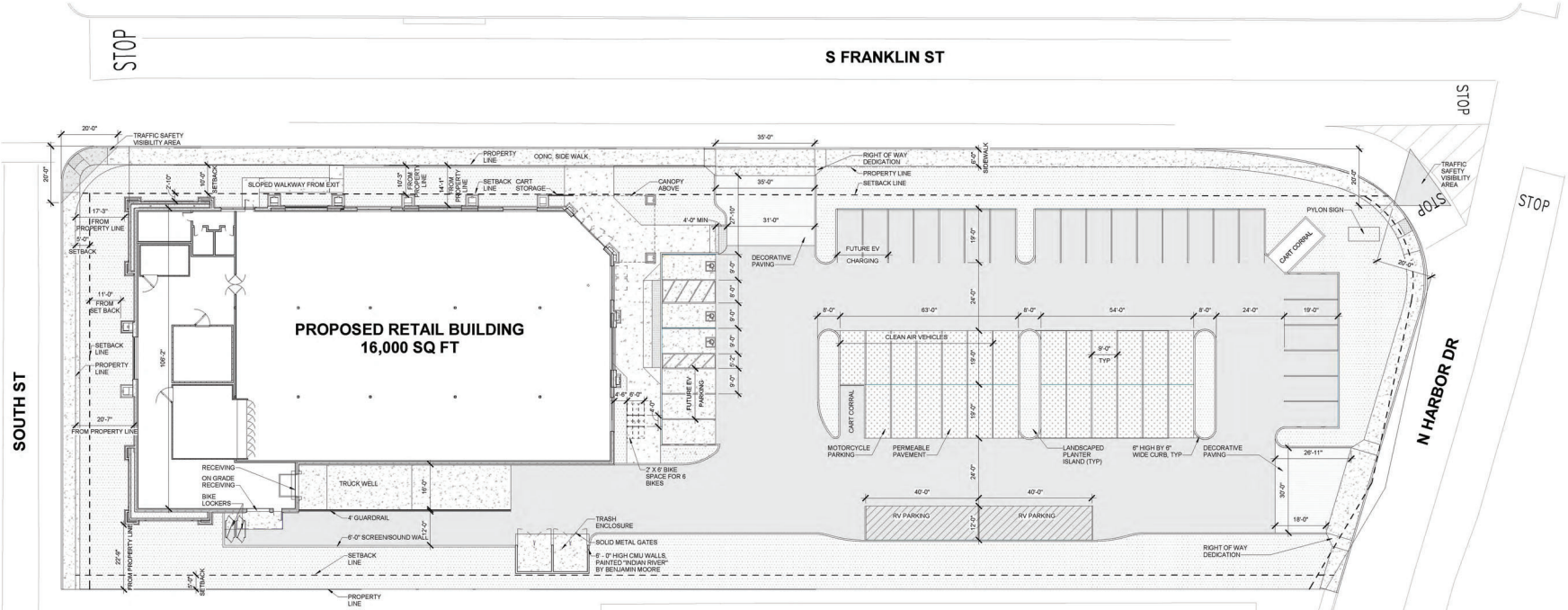


PARKING REQUIREMENTS

- PARKING REQUIRED:** 53 (RETAIL 1:300 SQFT)
- PARKING PROVIDED:** 53
- HANDICAP STALLS REQUIRED:** 3 (3.51% STALLS)
- HANDICAP STALLS PROVIDED:** 3 (1 VAN)
- RV PARKING REQUIRED:** 2
- RV PARKING PROVIDED:** 2
- BIKE PARKING REQUIRED:** 7
- BIKE PARKING PROVIDED:** 7
- BIKE PARKING CALCULATION:** 3(1% PARKING STALLS) = 3(1% PARKING STALLS)
- FUTURE EV REQUIRED:** 4
- FUTURE EV PROVIDED:** 4
- CLEAN AIR VEHICLES REQUIRED:** 6
- CLEAN AIR VEHICLES PROVIDED:** 6

SITE PLAN NOTES

- LIGHTING:**
- OUTDOOR LIGHT FIXTURES SHALL BE LIMITED TO A MAXIMUM HEIGHT OF 18' AND WILL UTILIZE ENERGY EFFICIENT FIXTURES AND LAMPS
 - LIGHTING FIXTURES WILL BE SHIELDED OR RECESSED TO REDUCE LIGHT BLEED TO ADJOINING PROPERTIES BY ENSURING THAT THE LIGHT SOURCE IS NOT VISIBLE FROM OFF-SITE AND CONFINING GLARE AND REFLECTIONS WITHIN THE BOUNDARIES OF THE SITE TO THE MAXIMUM EXTENT FEASIBLE.
 - SAFETY LIGHT FIXTURES SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHT-OF-WAY, SO THAT NO ON-SITE LIGHT FIXTURE DIRECTLY ILLUMINATES AN AREA OFF THE SITE.
 - NO PERMANENTLY INSTALLED LIGHTING SHALL BLINK, FLASH, OR BE OF UNUSUALLY HIGH INTENSITY OR BRIGHTNESS, AS DETERMINED BY THE DIRECTOR.
- LANDSCAPING:**
- REFER TO LANDSCAPE PLAN FOR ENTIRE LIST OF SPECIES AND DESIGN
 - VEGETATION PROPOSED WITHIN THE TRAFFIC VISIBILITY AREA WILL NOT EXCEED A HEIGHT OF 42"
- GENERAL:**
- ALL ACTIVITIES THAT MAY GENERATE DUST EMISSIONS SHALL BE CONDUCTED TO LIMIT THE EMISSIONS BEYOND THE SITE BOUNDARY TO THE MAXIMUM EXTENT FEASIBLE. METHODS WILL INCLUDE SCHEDULING, DUST CONTROL, VEGETATION CONTAINMENT, ETC.
 - ALL UTILITIES WILL BE UNDERGROUND
 - ALL CURBS 6" HIGH AND 6" WIDE UNLESS OTHERWISE NOTED.
- DUST CONTROL MEASURES WILL BE OBTAINED IN THE CONSTRUCTION DOCUMENTS THAT WILL BE SUBMITTED TO THE BUILDING DEPARTMENT TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO ISSUING A PERMIT, AND WILL FOLLOW THE GUIDELINES STATED IN THE SPECIAL CONDITION MEMO PREPARED BY PUBLIC WORKS DATED 1/20/20.



A5 PROPOSED SITE PLAN
1/8" = 1'-0"



brr

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CONSULTANT

GROCERY OUTLET
the berry
market
 825 SOUTH FRANKLIN STREET
 FORT BRAGG, CA 94647

ISSUE BLOCK		
NO.	DATE	DESCRIPTION

DATE: 03/17/20
 DRAWN BY: JMM
 CHECKED BY:
 JOB # 62930192

SITE PLAN

SHEET NO.
SP1



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CONSULTANT

GROCERYOUTLET
*buyain market*SM
 825 SOUTH FRANKLIN STREET
 FORT BRAGG, CA 95937

ISSUE BLOCK

NO.	DATE	DESCRIPTION

DATE: 03/17/20
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 CHECKED BY:
JOB # 62930192

EXTERIOR ELEVATIONS

SHEET NO. **A2**

7/1/2021 3:47:58 PM



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FORT BRAGG, CA 95437

ISSUE BLOCK

NO.	DATE	DESCRIPTION

DATE: 03/17/20
DRAWN BY: JJK
CHECKED BY:
JOB #62930192

SHEET TITLE
PERSPECTIVES

SHEET NO.
A2.0A

 NORTH

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C5 SOUTH ST CORNER PERSPECTIVE

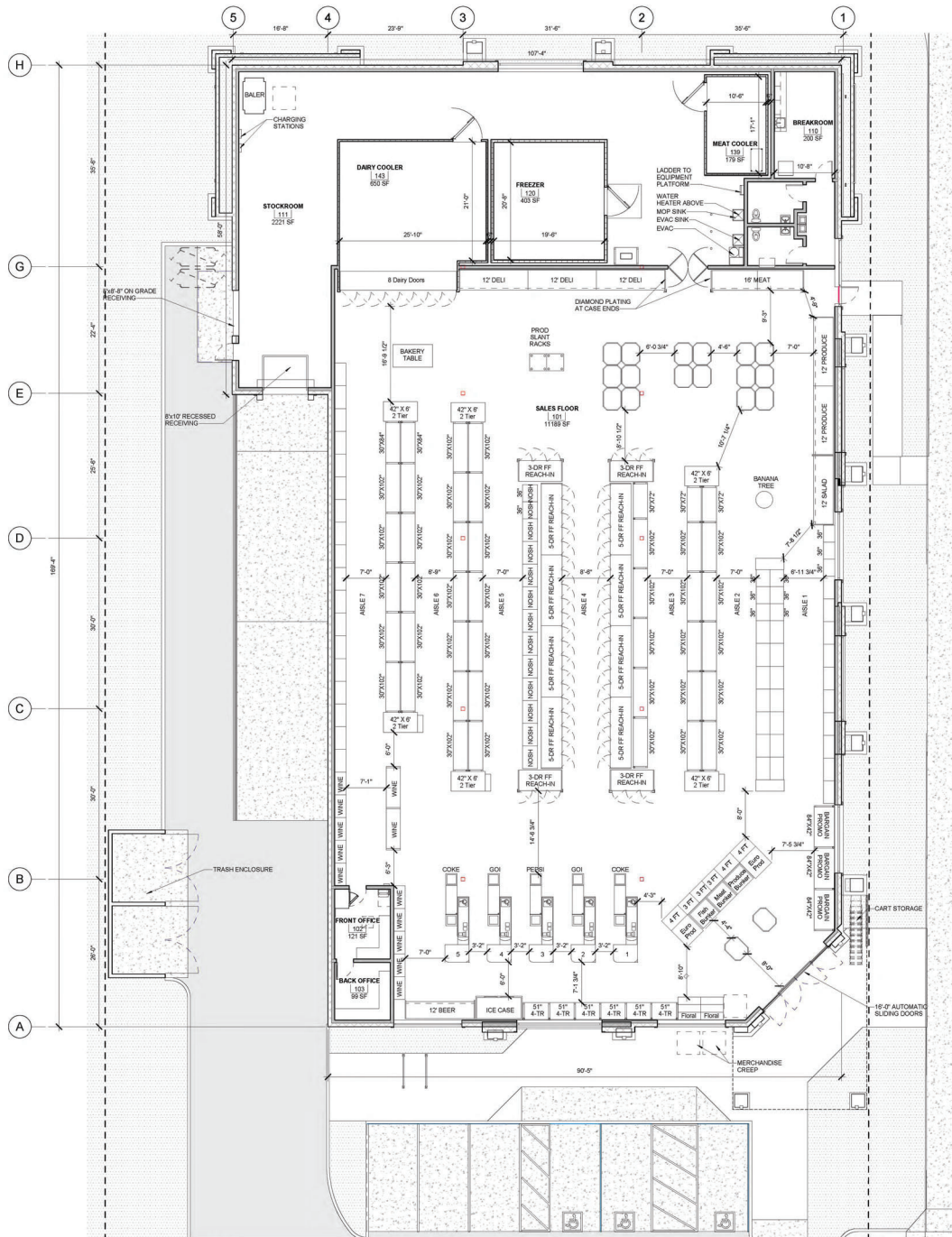


A5 ENTRANCE PERSPECTIVE



A3 PARKING LOT PERSPECTIVE

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A4 FIXTURE PLAN
18" = 1'-0"

**FORT BRAGG, CA -
FIXTURE PLAN - 03/19/20
VERSION 5
BUILDING AREAS (GROSS):**

**SALES = 11,927 SF
B.O.H. = 4,168 SF
SHELL = 16,095 SF**

**MERCHANDISING (NET) = 11,189 SF
STOCK (NET) = 2,231 SF**

LEGEND

SYMBOL	DESCRIPTION
	BRASS BELL (AT CHECKSTAND #1)
	EKO BAG GRIDS (3 PER PLAN)
	JMS BROOM HOLDERS (4 PER PLAN AT CLEANER AISLE)
	APPAREL RACKS (PROMOTIONAL EVENTS)
BUMP	BUMP OUT SECTIONS (12 @ HBC - PER PLAN)
	SECURITY CAMERA (SINGLE DIRECTION)
	SECURITY CAMERA (360 DEGREES)

GENERAL MERCH	HBC PERIMETER
BASE DECKS 30" SHELVES 24" SAHARA COLOR	BASE DECKS 24" SHELVES 24" SAHARA COLOR
SEASONAL BASE DECKS 20" SHELVES 24" SAHARA COLOR	CANDY PERIMETER BASE DECKS 24" SHELVES 24" SAHARA COLOR
INT. SIGNAGE: (LIGHTING @ 14'-0")	WINE PERIMETER BASE DECKS 24" SHELVES 24" BLACK COLOR
	HOLDING BOXES FREEZER: 403 SF DAIRY: 650 SF MEAT: 170 SF

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FORT BRAGG, CA 95437

ISSUE BLOCK

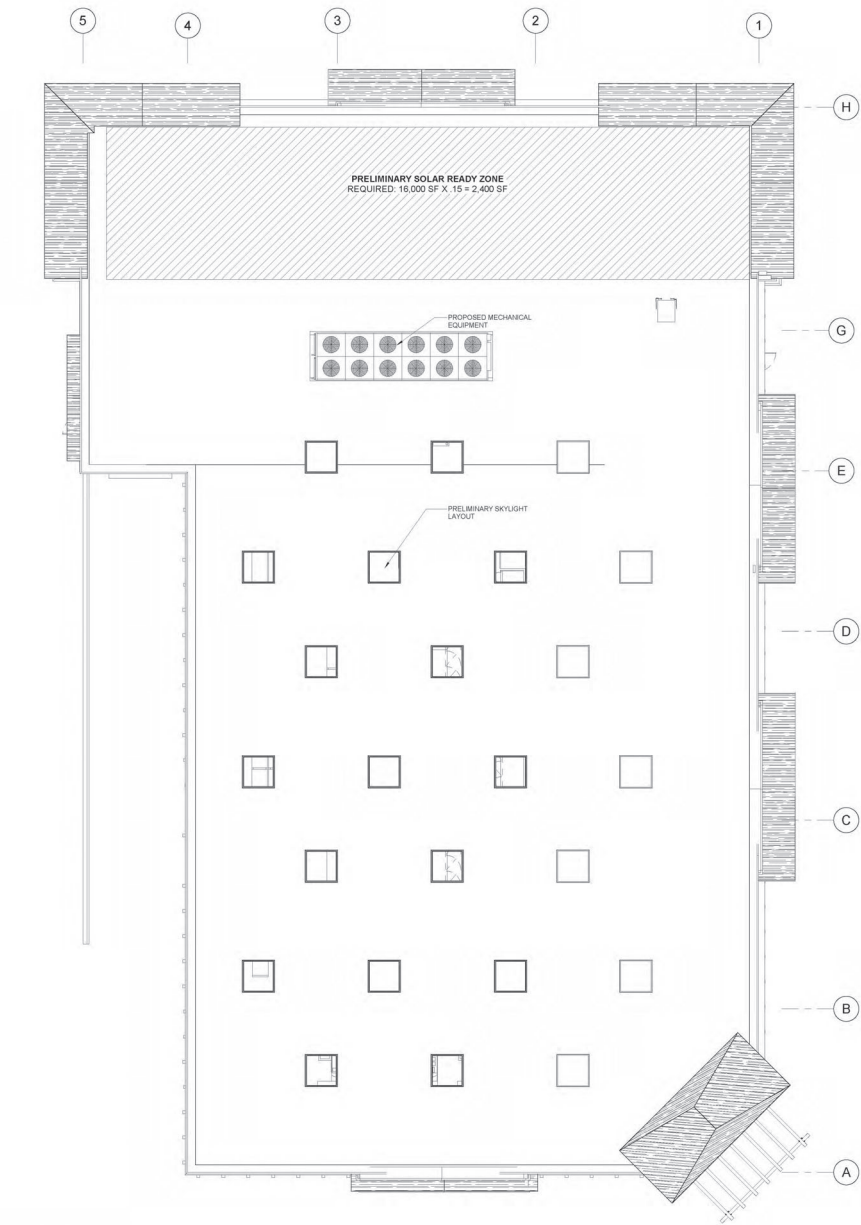
NO.	DATE	DESCRIPTION
1	03/19/20	Fixture Plan
2	03/19/20	Fixture Plan
3	03/19/20	Fixture Plan
4	03/19/20	Fixture Plan

DATE: 03/17/20
DRAWN BY: SEW
CHECKED BY:
JOB # 62930192

SHEET TITLE
FIXTURE PLAN

SHEET NO.
FX1.0

6/9/2021 2:29:25 PM



1 ROOF PLAN
1/8" = 1'-0"



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FORT BRAGG, CA 95437

ISSUE BLOCK

NO.	DATE	DESCRIPTION

DATE: 03/17/20
DRAWN BY: JRZ
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SHEET TITLE
ROOF PLAN

SHEET NO.
A3



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CONSULTANT

Kimley»Horn

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 619-234-9411

BEST DEVELOPMENT GROUP

2580 SIERRA BLVD., SUITE #6
 SACRAMENTO, CA 95825

GROCERY OUTLET
 bergan martel

APH: 018-120-47-00
 FORT BRAGG, CA 95437

ISSUE BLOCK



DATE: 06/20/21
 DRAWN BY: JMS
 CHECKED BY: LD
 JOB # 62930192

SHEET TITLE
PRELIMINARY LANDSCAPE PLAN

SHEET NO.

L1.0

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT/SPREAD	WUCOLS
	24	CUPRESSUS MACROCARPA / MONTEREY CYPRESS	24" BOX	7'-9" HT. X 3'-5" SPR.	MODERATE
	12	PRUNUS CERASIFERA / PURPLE LEAF PLUM	24" BOX	9'-11" HT. X 3'-4" SPR.	LOW
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS
	103	BERBERIS AQUIFOLIUM / COMMON BARBERRY	5 GAL.	4" O.C.	LOW
	238	MULLENBERGIA DUBIA / PINE MUILY	5 GAL.	3" O.C.	LOW
	30	OLEA EUROPAEA 'LITTLE OLLIE' / LITTLE OLLIE OLIVE	5 GAL.	4" O.C.	LOW
	141	PHORNUM TENAX 'DARK DELIGHT' / DARK DELIGHT FLAX	5 GAL.	3" O.C.	LOW
	52	PITOSPORUM TOBIRA 'COMPACTUM' / COMPACT PITOSPORUM	5 GAL.	5" O.C.	LOW
	37	RHAPHOLEPS INDICA / INDIAN HAWTHORN	5 GAL.	5" O.C.	LOW
	185	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL.	4" O.C.	LOW
INERT MATERIAL	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS
	12	ROCK BOULDERS / 4' X 4' X 4' / LOCALLY SOURCED	-	-	-
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS
	318	FESTUCA RUBRA / RED FESCUE	N/A	2.5' O.C.	LOW
	155	MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM	N/A	3' O.C.	LOW

LANDSCAPE NOTE:

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. DECOMPOSED GRANITE SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUN-OFF. ALL SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER SOIL TEMPERATURE, AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF FORT BRAGG MUNICIPAL CODE.

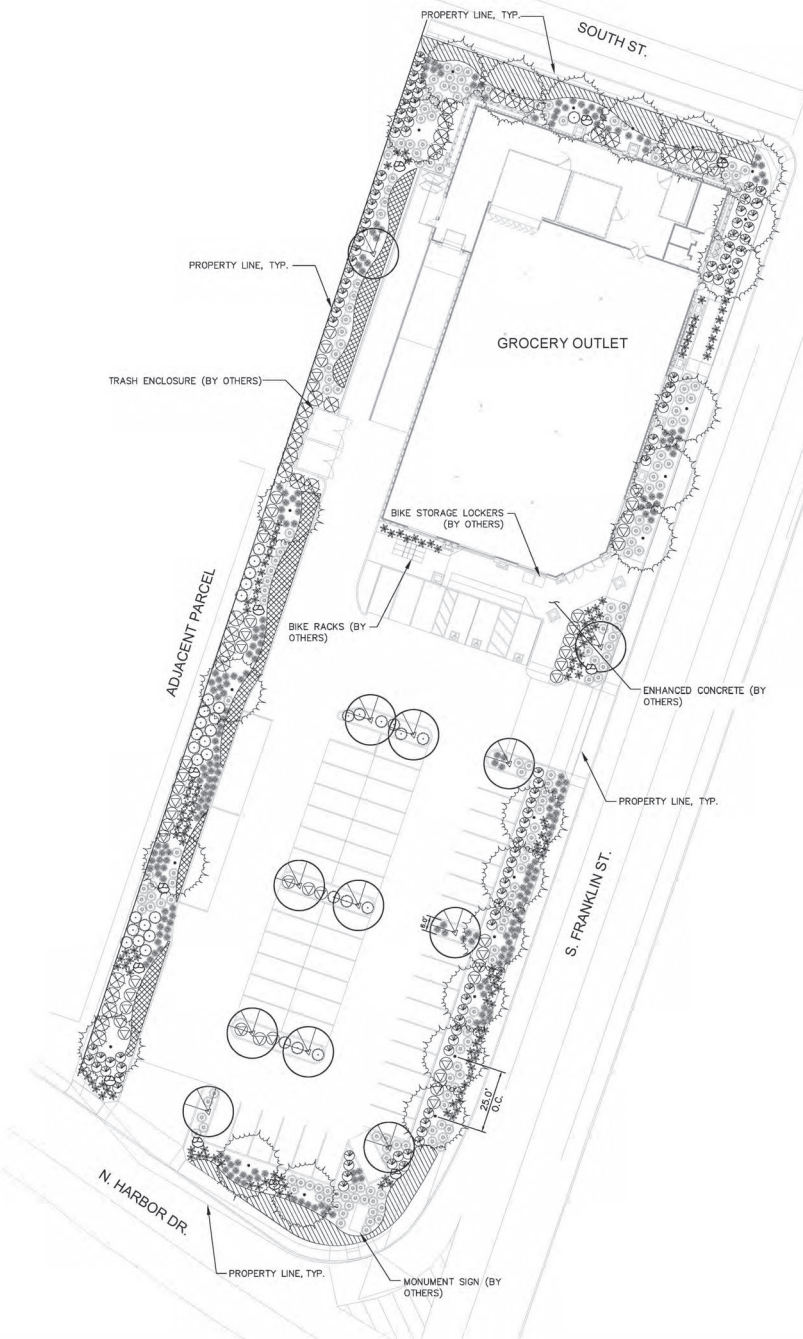
IRRIGATION NOTE:

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE 100% COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. THE WATER SUPPLY FOR THIS SITE IS A POTABLE WATER CONNECTION AND A DEDICATED IRRIGATION METER WILL BE PROVIDED. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH NO WATER LOSS DUE TO WATER CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL POINT SOURCE SYSTEM SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF FORT BRAGG MUNICIPAL CODE.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

Michael P. Madsen
 MICHAEL P. MADSEN, LLA 5798

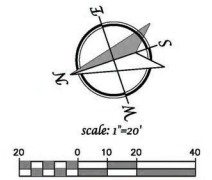
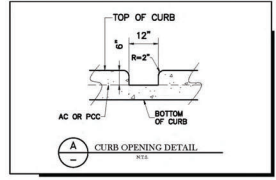
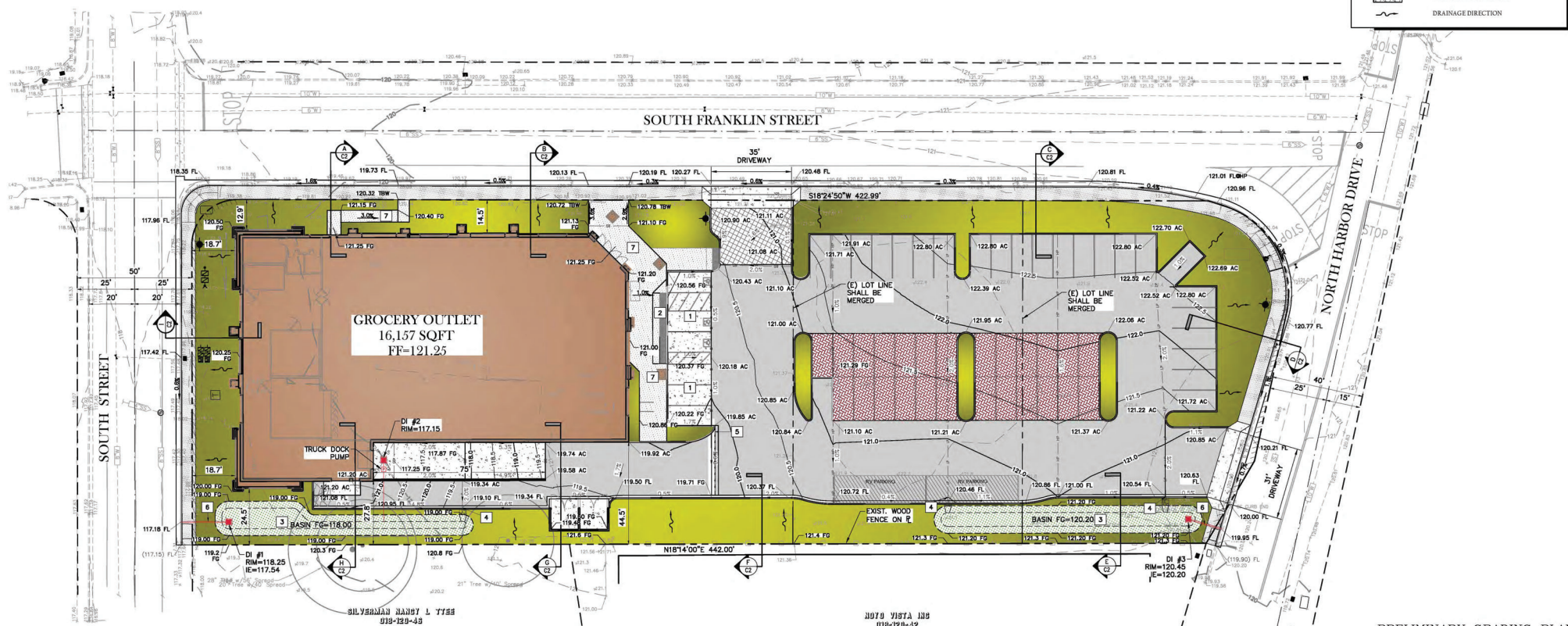
CODE INFORMATION TABLE	REQUIRED	PROVIDED
PERIMETER TREES PLANTED AT 25' O.C.	25' O.C.	YES
MINIMUM LANDSCAPE AREA WIDTH	7'	YES
MINIMUM PERIMETER OF LANDSCAPE STRIP	5'	YES
PARKING LOT LANDSCAPE AREA	10% (775 SQFT)	(17,376) 1,345 SQFT



PRELIMINARY GRADING & DRAINAGE PLAN
BEST DEVELOPMENT GROUP
GROCERY OUTLET
 825, 845, 851 SOUTH FRANKLIN STREET
 FORT BRAGG, CA

- GRADING CONSTRUCTION NOTES**
- 1 ACCESSIBLE PARKING/LOADING ZONE
 - 2 ACCESSIBLE CURB RAMP
 - 3 BIO-RETENTION BASIN
 - 4 1-FOOT CURB OPENING INTO BASIN
 - 5 CONCRETE VALLEY CUTTER
 - 6 (2) 3" PVC SIDEWALK DRAIN PIPE
 - 7 SIDEWALK

SITE LEGEND	
PROPOSED	EXISTING
168.0 AC	ELEVATION (165.5) FL
—	SIDEWALK DRAIN
■	DRAINAGE INLET
■	ASPHALT PAVEMENT
■	BUILDING AREA
■	LANDSCAPE AREA
■	P.C.C. CONCRETE
■	BIO RETENTION BASIN
■	CONCRETE SIDEWALK
■	PERMEABLE PAVEMENT
■	DECORATIVE PAVEMENT
—	DRAINAGE DIRECTION



PRELIMINARY GRADING PLAN
 JUNE 30, 2021

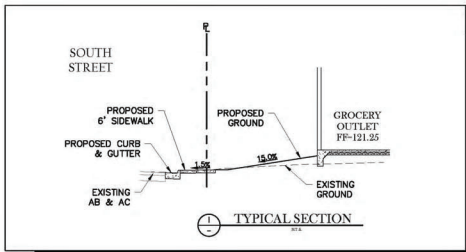
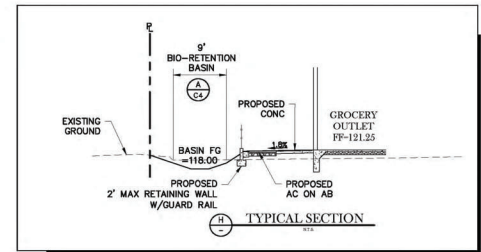
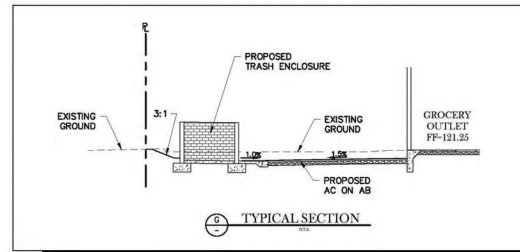
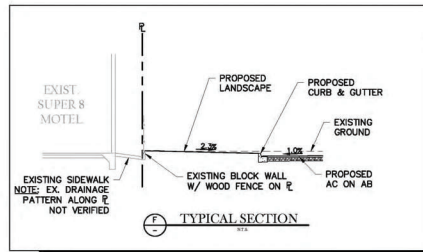
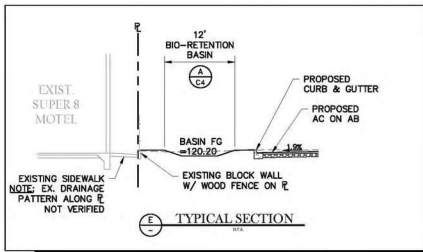
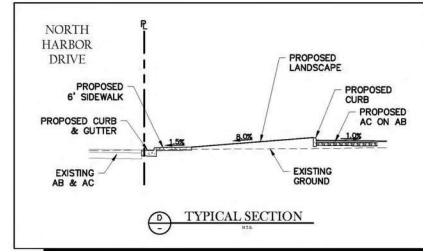
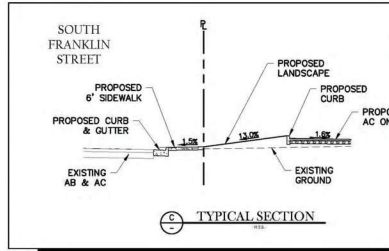
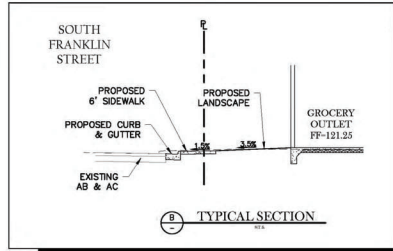
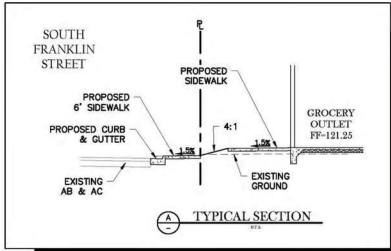
TSD ENGINEERING, INC.
 expect more.

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 Phone: (916) 608-0707
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C1

P:\Projects\1811-01\181101-000\181101-000.dwg - Preliminary Grading & Drainage - Bureau Layout - 12/21/21 - 08:20:21

PRELIMINARY GRADING SECTIONS
BEST DEVELOPMENT GROUP
GROCERY OUTLET
 825, 845, 851 SOUTH FRANKLIN STREET
 FORT BRAGG, CA



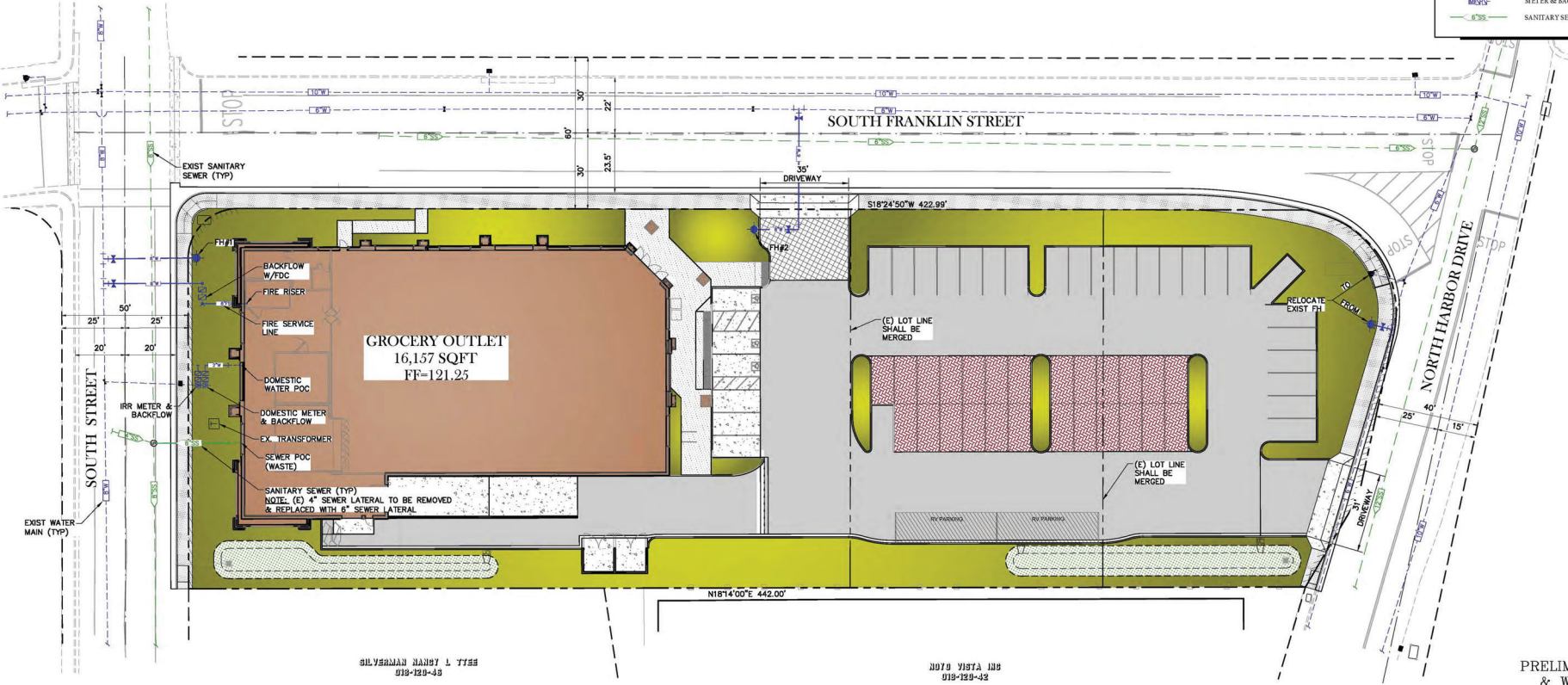
PRELIMINARY SECTIONS
 JUNE 30, 2021

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 expect more.
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P:\Projects\181-011\181-011-02-DWG-04 - Preliminary Grading Sections - Urban Layout - 12.21.05 - 08-20-21

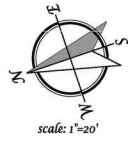
PRELIMINARY SEWER & WATER PLAN
BEST DEVELOPMENT GROUP
GROCERY OUTLET
 825, 845, 851 SOUTH FRANKLIN STREET
 FORT BRAGG, CA

UTILITY PLAN LEGEND	
	ASPHALT PAVEMENT
	BUILDING AREA
	LANDSCAPE AREA
	P.C.C. CONCRETE
	BIO RETENTION BASIN
	CONCRETE SIDEWALK
	PERMEABLE PAVEMENT
	DECORATIVE PAVEMENT
	WATER MAIN
	FIRE SERVICE
	FIRE DEPARTMENT CONNECTION (FDC)
	METER & BACKFLOW
	SANITARY SEWER



SILVERMAN HANBY L TTEE
 919-129-43

NOTA VISTA LLC
 919-129-42



PRELIMINARY SEWER & WATER PLAN
 JUNE 30, 2021

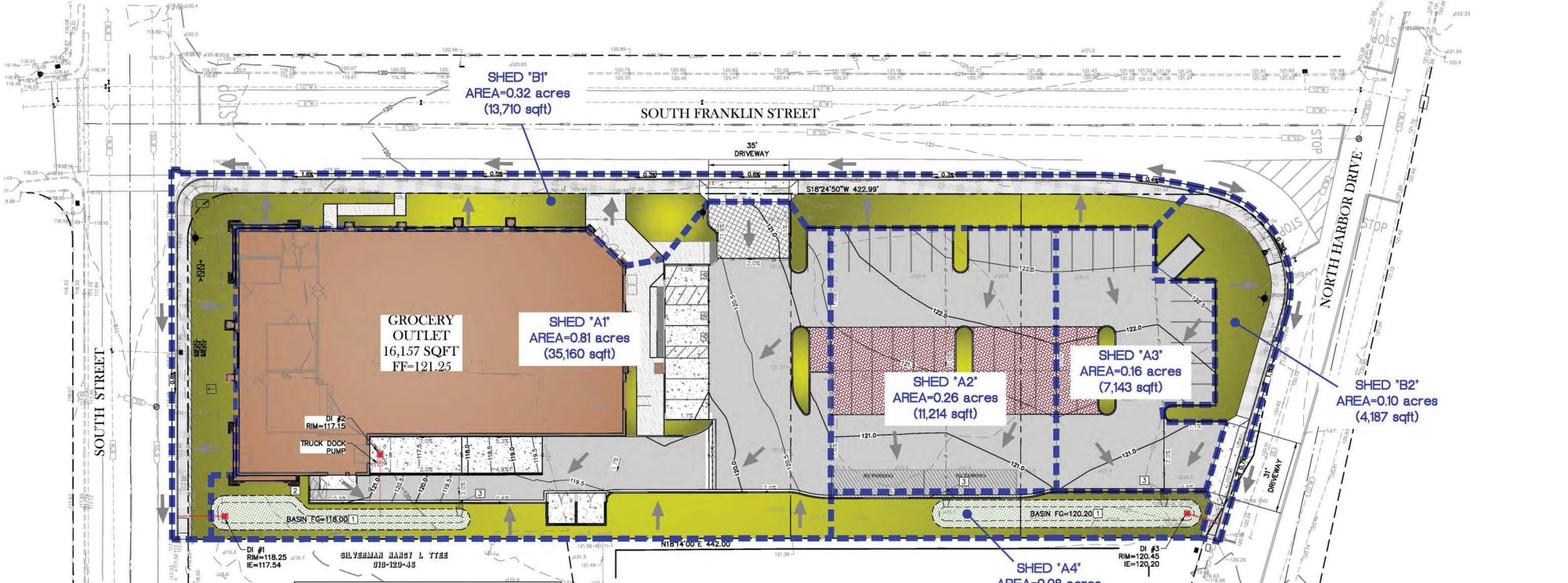
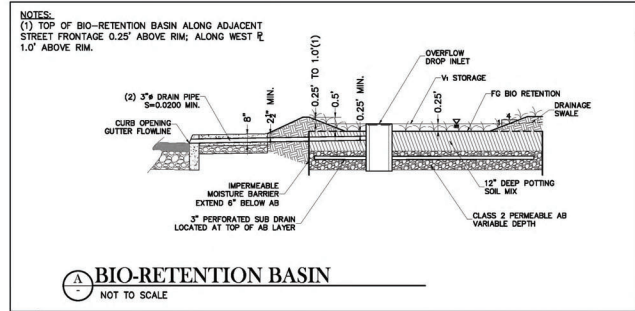
TSD ENGINEERING, INC.
expect more.
 785 Orchard Drive, Suite #110
 Folsom, CA 95630
 Phone: (916) 608-0707
 Fax: (916) 608-0701

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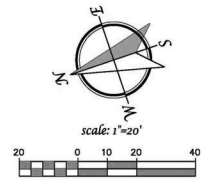
PRELIMINARY STORM WATER MANAGEMENT PLAN
BEST DEVELOPMENT GROUP
GROCERY OUTLET
 825, 845, 851 SOUTH FRANKLIN STREET
 FORT BRAGG, CA

SITE LEGEND	
	DRAINAGE INLET
	ASPHALT PAVEMENT
	BUILDING AREA
	LANDSCAPE AREA
	P.C.C. CONCRETE
	BIO RETENTION BASIN
	CONCRETE SIDEWALK
	PERMEABLE PAVEMENT
	DECORATIVE PAVEMENT
	OVERLAND RELEASE



PERVIOUS & IMPERVIOUS AREA CALCULATIONS			
PERVIOUS SURFACE:			
BIOBASINS & LANDSCAPING	0.44 ACRES	19,265 SF	
PERMEABLE PAVEMENT	0.10 ACRES	4,290 SF	
TOTAL ONSITE	0.54 ACRES	23,555 SF	33%
IMPERVIOUS SURFACE:			
ONSITE:			
AC CONC PARKING & DRIVE AISLES		23,126 SF	
CONC TRUCK DOCK		1,253 SF	
TRASH ENCLOSURE		314 SF	
SIDEWALKS & HARDSCAPE		1,687 SF	
BUILDING FOOTPRINT		16,157 SF	
TOTAL ONSITE	0.97 ACRES	42,536 SF	66%
OFFSITE:			
PUBLIC SIDEWALK		4,070 SF	
DRIVEWAYS		754 SF	
TOTAL OFFSITE	0.11 ACRES	4,824 SF	7%
TOTAL AREA (PERVIOUS & IMPERVIOUS):	1.63 ACRES	70,915 SF	100%

- STORM WATER BMP NOTES**
- BIO-RETENTION BASIN
 - RIM DISCHARGE TO LANDSCAPE ROOF RAINWATER DISCONNECT
 - LANDSCAPE DISCONNECT - PAVEMENT DISCONNECT PRIOR TO BIO-RETENTION



PRELIMINARY STORM WATER
 MANAGEMENT PLAN
 JUNE 30, 2021

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