



City of Fort Bragg

416 N Franklin Street
Fort Bragg, CA 95437
Phone: (707) 961-2823
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Meeting Agenda Planning Commission

Wednesday, February 14, 2024

6:00 PM

Town Hall, 363 N.Main Street and
Via Video Conference

MEETING CALLED TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PLANNING COMMISSIONERS PLEASE TAKE NOTICE

Planning Commissioners are reminded that pursuant to the Council policy regarding use of electronic devices during public meetings adopted on November 28, 2022, all cell phones are to be turned off and there shall be no electronic communications during the meeting. All e-communications such as texts or emails from members of the public received during a meeting are to be forwarded to the City Clerk after the meeting is adjourned.

ZOOM WEBINAR INVITATION

This meeting is being presented in a hybrid format, both in person at Town Hall and via Zoom.

When: Feb 14, 2024 06:00 PM Pacific Time (US and Canada)

Topic: Planning Commission

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/82181348917>

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Dial(for higher quality, dial a number based on your current location):

+1 669 444 9171 US

Webinar ID: 821 8134 8917

International numbers available: <https://us06web.zoom.us/j/82181348917>

To speak during public comment portions of the agenda via zoom, please join the meeting and use the raise hand feature when the Chair or Acting Chair calls for public comment on the item you wish to address.

1. PUBLIC COMMENTS ON: (1) NON-AGENDA & (2) CONSENT CALENDAR**ITEMS**

MANNER OF ADDRESSING THE COMMISSION: All remarks and questions shall be addressed to the Planning Commission; no discussion or action will be taken pursuant to the Brown Act. No person shall speak without being recognized by the Chair or Acting Chair. Public comments are restricted to three (3) minutes per speaker.

TIME ALLOTMENT FOR PUBLIC COMMENT ON NON-AGENDA ITEMS: Thirty (30) minutes shall be allotted to receiving public comments. If necessary, the Chair or Acting Chair may allot an additional 30 minutes to public comments after Conduct of Business to allow those who have not yet spoken to do so. Any citizen, after being recognized by the Chair or Acting Chair, may speak on any topic that may be a proper subject for discussion before the Planning Commission for such period of time as the Chair or Acting Chair may determine is appropriate under the circumstances of the particular meeting, including number of persons wishing to speak or the complexity of a particular topic. Time limitations shall be set without regard to a speaker's point of view or the content of the speech, as long as the speaker's comments are not disruptive of the meeting.

BROWN ACT REQUIREMENTS: The Brown Act does not allow action or discussion on items not on the agenda (subject to narrow exceptions). This will limit the Commissioners' response to questions and requests made during this comment period.

WRITTEN PUBLIC COMMENTS: Written public comments received after agenda publication are forwarded to the Commissioners as soon as possible after receipt and are available for inspection at City Hall, 416 N. Franklin Street, Fort Bragg, during normal business hours. All comments will become a permanent part of the agenda packet on the day after the meeting or as soon thereafter as possible, except comments that are in an unrecognized file type or too large to be uploaded to the City's agenda software application. Public comments may be emailed to CDD@fortbragg.com.

2. STAFF COMMENTS**3. MATTERS FROM COMMISSIONERS****4. CONSENT CALENDAR**

All items under the Consent Calendar will be acted upon in one motion unless a Commissioner requests that an individual item be taken up under Conduct of Business.

5. DISCLOSURE OF EX PARTE COMMUNICATIONS ON AGENDA ITEMS**6. PUBLIC HEARINGS**

6A. [23-521](#) Receive Report, Conduct a Public Hearing, and Consider Approval of Use Permit 2-23, Design Review 3-23, and Sign Permit 8-23 Applications Requesting to Convert an Existing Commercial Building to the Following Uses: Restaurant with Arcade, General Retail, and Four Multi-Family Dwelling Units in the Inland Central Business District. Categorically Exempt.

- Attachments: [Staff Report UP 2-23, DR 3-23, SP 8-23](#)
[Att 1 Application](#)
[Att 2 Site Plan](#)
[Att 3 Exterior Elevations](#)
[Att 4 Floor Plan](#)
[Att 5 Landscaping Plans](#)
[Att 6 Lighting Plan](#)
[Att 7 Sign Plan](#)
[Att 8 PC Resolution UP2-23, DR3-23, SP 8-23](#)
[Att 9 Public Hearing Notice UP 2-23, DR 3-23, SP 8-23](#)
[Att 10 Notice of Exemption](#)
[Public Comment 23-521](#)

6B. [23-502](#) Continue to March 13, 2024 to Conduct a Public Hearing, and Consider Approval of Minor Subdivision 1-23 (DIV 1-23) for 145 Dana Street (APN 008-312-18). Categorically Exempt.

- Attachments: [Continue Mar-13-2024](#)
[Public Hearing Notice DIV 1-23](#)

7. CONDUCT OF BUSINESS

ADJOURNMENT

The adjournment time for all Planning Commission meetings is no later than 9:00 p.m. If the Commission is still in session at 9:00 p.m., the Commission may continue the meeting upon majority vote.

STATE OF CALIFORNIA)
)ss.
 COUNTY OF MENDOCINO)

I declare, under penalty of perjury, that I am employed by the City of Fort Bragg and that I caused this agenda to be posted in the City Hall notice case on or before February 9, 2024.

 Maria Flynn
 Administrative Assistant, Community Development Department

NOTICE TO THE PUBLIC

Materials related to an item on this agenda submitted to the Commission after distribution of the agenda packet are available for public inspection in the Community Development Department at 416 North Franklin Street, Fort Bragg, California, during normal business hours. Such documents are also available on the City's website at www.fortbragg.com subject to staff's ability to post the documents before the meeting.

ADA NOTICE AND HEARING IMPAIRED PROVISIONS:

It is the policy of the City of Fort Bragg to offer its public programs, services and meetings in a manner that is readily accessible to everyone, including those with disabilities. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities.

If you need assistance to ensure your full participation, please contact the City Clerk at (707) 961-2823. Notification 48 hours in advance of any need for assistance will enable the City to make reasonable arrangements to ensure accessibility.

This notice is in compliance with the Americans with Disabilities Act (28 CFR, 35.102-35.104 ADA Title II).



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Phone: (707) 961-2823
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Text File

File Number: 23-521

Agenda Date: 2/14/2024

Version: 1

Status: Public Hearing

In Control: Planning Commission

File Type: Planning Staff Report

Agenda Number: 6A.

Receive Report, Conduct a Public Hearing, and Consider Approval of Use Permit 2-23, Design Review 3-23, and Sign Permit 8-23 Applications Requesting to Convert an Existing Commercial Building to the Following Uses: Restaurant with Arcade, General Retail, and Four Multi-Family Dwelling Units in the Inland Central Business District. Categorically Exempt.

AGENDA ITEM SUMMARY REPORT

APPLICATION NO.: Use Permit 2-23 (UP 2-23), Design Review 3-23 (DR 3-23); Sign Permit 8-23 (SP 8-23)

OWNER/APPLICANT: Christina Poos

AGENT: Kelly Grimes

PROJECT: Consideration of Use Permit 2-23, Design Review 3-23, and Sign Permit 8-23 applications requesting to convert an existing commercial building to the following uses: Restaurant with arcade, General Retail, and four Multi-Family Dwelling Units in the inland Central Business District.

LOCATION: 228 N. Main Street (APN 018-153-28)

LOT SIZE: 37,500 Square Feet

ZONING: Central Business District (CBD), Inland Zone.

ENVIRONMENTAL DETERMINATION: Categorically Exempt

SURROUNDING LAND USES:

NORTH:	CBD – Restaurant
EAST:	CBD – Post Office
SOUTH:	CBD – Bank
WEST:	CBD – Highway 1

APPEALABLE PROJECT: Can be appealed to City Council

RECOMMENDED ACTION:

Receive Report, Hold a Public Hearing, Deliberate and Adopt a Resolution of the Fort Bragg Planning Commission Approving Use Permit 2-23 (UP 2-23), Design Review 3-23 (DR 3-23), Sign Permit 8-23 (SP 8-23) to convert an existing commercial building located at 228 N. Main Street to the following uses: Restaurant with arcade, General Retail, and four Multi-Family Dwelling Units in the inland Central Business District

ALTERNATIVE ACTIONS:

1. Receive report, hold a public hearing, deliberate and provide direction to prepare a resolution for denial.
2. Receive report, hold a public hearing, continue the public hearing and request additional information.

BACKGROUND:

The building located at 228 N. Main St. has been under-utilized, since the Bank of America closed their office over ten years ago. The building was recently purchased by the applicant with the intention of converting it into a mixed-use building with four residential units, a restaurant, arcade and retail space. With adoption of the recommended conditions, the proposed residential and commercial uses would satisfy requirements for land use approval. While the existing structure (and other site improvements) were legally constructed before the adoption or amendment of the current development code, the structure and some

existing site improvements no longer comply with ILUDC standards (i.e. front yard setback, off-street parking, and /or some landscape requirements). Nonconforming structures are regulated by Chapter 18.90 that states in part, "A nonconforming land use and the use of a nonconforming structure may be continued, including transfers of ownership, provided any such continued use shall comply with the requirements of this section."

GENERAL PLAN CONSISTENCY:

The project was found to be consistent with all General Plan policies, including Land Use Policies LU-3.5 and LU-3.6 as the application proposes to locate commercial and residential uses within an existing, retail building in the Central Business District (CBD) and the application proposes to reuse the building located at 228 N Main Street following a period of unstable occupancy and vacancy.

- *Land Use Policy LU-3.5 Encourage Smart Growth: Locate new residential, commercial, or industrial development within, contiguous with, or in close proximity to, existing developed areas.*
- *Land Use Policy LU-3.6 Re-Use of Existing Buildings: Encourage the adaptive re-use and more complete utilization of buildings in the Central Business District and other commercial districts.*

The Planning Commission could find that approval of a Use Permit, Design Review, and Sign Permit applications are consistent with the Inland General Plan, Inland Land Use and Development Code (ILUDC), and Citywide Design Guidelines.

USE PERMIT ANALYSIS:

The Planning Commission shall approve a use permit only after first establishing a basis for all of the following findings per ILUDC Sections 18.22.030.C; Section 18.71.060.F; and Section 18.42.100:

1. *The proposed use is consistent with the General Plan and any applicable specific plan;*
2. *The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this Development Code and the Municipal Code;*
3. *The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity;*
4. *The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities (e.g., fire protection, police protection, potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.), to ensure that the type, density, and intensity of use being proposed would not endanger, jeopardize, or otherwise constitute a hazard to the public interest, health, safety, convenience, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zoning district in which the property is located;*
5. *The proposed use complies with any findings required by §18.22.030 (Commercial District Land Uses and Permit Requirements), which reads:*

The use complements the local, regional and tourist-serving retail, office and services functions of the CBD, and will not detract from this basic purpose of the CBD. Uses proposed for the intense pedestrian-oriented retail shopping areas of the CBD, which include the 100 blocks of East and West Laurel Street, the 300 block of North Franklin Street, and the 100 and 200 blocks of Redwood Avenue, shall be limited to pedestrian-oriented uses on the street-fronting portion of the building.*

6. *The proposed use complies with the Specific Land Use Standards for Mixed Use Development in §18.42.100.*

While the proposed project is consistent with the Central Business District Table 2-6 *Allowed Land Uses and Permit Requirements* for Commercial Zoning Districts in ILUDC §18.22.030, the entire mixed use

project shall be subject to a Use Permit because one land use activity – the arcade – is required to have Use Permit approval (see ILUDC §18.42.100.B). The following analysis illustrates that by adopting the recommended special conditions that the Planning Commission can establish findings to approve Use Permit Application 2-23.

- The “residential component mixed-use project” is permitted by right, so long as the residential units are *only on second or upper floors*. The application proposes four residential units as part of a mixed-use project. All four residential units would be located on the second floor. As designed, approval of the proposed residential use would not require a use permit.
- The restaurant use and retail uses are permitted by right.
- A use permit is required for the proposed arcade, which is a type of “Commercial Recreation Facility – Indoor” activity.
- Consistent with ILUDC §18.22.030.C.3 required finding, the proposed restaurant, retail and arcade are tourist-serving activities and they are compatible with the pedestrian oriented nature of the CBD.

SITE DEVELOPMENT STANDARDS & PARKING:

The building at 228 N Main Street is a nonconforming structure that satisfies most of the City’s current site development standards (See ILUDC Articles 2 and 3). The building does not conform to the current front setback requirement (e.g. *building facades shall abut the back of the public sidewalk*), as the building location is considerably offset from the back of the public sidewalk. Existing site improvements also do not satisfy current landscaping requirements, including providing a 15-foot deep landscaped strip between the parking lot and Main Streets. In accordance with ILUDC §18.90.030.B.1, non-conforming structures may continue to be used, changed, or expanded with a *Minor Use Permit approval, provided the Review Authority first finds that the additional work is compatible with neighboring uses and would not adversely impact neighboring properties.*

Additionally, the project must be found to comply with ILUDC §18.22.060(B) CBD Frontage and Facade Standards:

B. Limitation on the location of allowable land uses. *Each land use shall be located as follows:*

1. The ground floor of each nonresidential structure shall be limited to the uses allowed on the ground floor by §18.22.030, Table 2-6, to enhance the pedestrian orientation of downtown streets. Examples of the pedestrian-oriented uses allowed by Table 2-6 include walk-in uses such as restaurants, retail stores, health/fitness facilities, personal services, community service organizations, and similar uses. The review authority may modify the Table 2-6 limitations on ground floor uses when existing structures are re-occupied by different tenants or uses, or when this requirement is determined by the review authority to be infeasible because of excessive storefront vacancies.

The proposed project would consist of a ground floor restaurant, retail and arcade that would be used by locals and visitors alike. The project is consistent with ILUDC §18.22.060.B requirement. There are no specific regulations for a “Commercial recreation facility – Indoor.”

LANDSCAPING STANDARDS:

The existing landscaping at the project site is a little tired and does not comply with current landscaping standards. The applicant has submitted a new landscaping plan (see Attachment 5). The new landscaping plan includes a good mix of native grasses, shrubs, forbs and trees. The landscaping plan proposes to keep existing shade trees and plant a few additional trees between the parking lot and the sidewalks along Alder and Main Streets. The applicant noted in a letter to the City that, “There are some limitations to the

landscaping since the parking and planting areas are already defined. For example, planting trees at 25' on center is not possible but we have planted and kept as many trees as possible. We also have listed a variety of 11 native plants which the landscaper can choose from once the installation begins. Plant availability is key to the actual plant choices." Nevertheless, there is sufficient space to plant at least four additional trees to comply with the tree density requirement. Therefore, staff recommends Special Condition 5 to address this issue. Additionally, this project requires the installation of a backflow device. The backflow device must be landscaped so that it is screened from public view. This requirement is also addressed in Special Condition 5.

Special Condition 5. Prior to final of the building permit, applicant shall install at least two additional trees in the landscaping strip between the sidewalk and the parking lot along the Alder Street frontage between the entry driveway and the western corner of the parcel. The applicant shall also install at least two trees between the monument sign and the existing trees on the sidewalk fronting Main Street. Tree species shall be as specified in the landscaping plan. The installed backflow device shall be screened from view by shrubs and vegetation from the plant list in the Landscaping Plan.

PARKING AND LOADING:

The application does not propose altering the current off-street parking arrangement and as such, the project does not provide sufficient parking (per the code) for the proposed uses. Properties located within the Central Business District may pay a parking in lieu fee, rather than satisfy off-street parking requirements. However on December 11, 2023, the City Council extended a moratorium on payment of the parking in-lieu fee. As such, the project is not required to comply with the current off-street parking requirements or pay an in lieu fee.

Section 18.36.110 Loading Space Requirements. This mixed-use project includes more than 5,000 SF of retail and restaurant space and as such, it must satisfy loading space requirements (including one dedicated loading space, meaning a defined area measuring 12 feet by 40 feet, lighting, screening, striping and surfacing). The application sufficiently addresses these requirements and the proposed lighting plan would provide adequate illumination for one loading space. However, the existing chain link fencing along the alley does not comply with ILUDC §18.36.110 screening requirements, for which a combination of dense landscaping and solid masonry wall with a minimum height of 6 feet are required. Additionally, chain link fencing is explicitly prohibited in the Central Business District (see ILUDC §18.30.050.E.4). Therefore, the Planning Commission should adopt Special Condition 6 to ensure that the loading zone is properly delineated on the project plans and require removal of chain link fencing.

Special Condition 6. 6. Prior to issuance of the Building Permit, the applicant shall file for Director review and approval a revised site plan complying with ILUDC §18.36.110.B and §18.30.050.E.4 requirements and showing the location of the loading space, masonry wall, and landscaping.

Utilities. In accordance with City Council Resolution No. 4741-2023, no sewer or water capacity fees are required for new or expanding businesses in the Central Business District.

Stormwater. This project does not include an increase in impervious surfaces; therefore, stormwater discharge will remain the same. Nevertheless, some stormwater impacts may occur during the construction process, and Public Works Department staff have requested Special Condition 7.

Special Condition 7: Stormwater Management best practices shall be utilized during construction including the following:

- a) If construction is conducted between October and April (the rainy season) approval from the Public Works Department and additional construction BMP's will be required.
- b) It is not permitted for construction debris and soil to be placed in the City right-of-way. All construction debris/soil shall be properly disposed of.
- c) Applicant to adhere to the storm water measures outlined in the Storm Water Control Plan that was provided by the applicant.

- d) Applicant to ensure that there is no increase in runoff to adjacent properties or to the Public Right of Way.

SIGNS:

The approval of a Sign Permit shall require the Planning Commission to first establish a basis for the findings listed in ILUDC Section 18.38.030.D, as applicable.

The applicant proposes to install three new signs, as follows: two 26 inch by 40 inch signs (7.25 SF) at each parking lot entrance and one monument sign measuring 7 feet by 4 feet (28 SF) to be located at the corner of Main and Alder Streets.

- The code allows a business of this size to have 100 SF total of signage. The proposed signage is well within the limitation.
- The applicant is allowed to have three signs per building or two signs per business within a building. The current signage program is for the restaurant portion only. If the applicant proposes to install future signage for one or more additional businesses within the building, one of the Bear’s Pizza signs will need to be removed. See ILUDC 18.38.070.B Table 3-12.
- The sign meets all requirements regarding height.
- The proposed locations for signs conform with requirements. The proposed monument sign would be located in the same location as the current monument sign, which does not conform with the minimum 20-foot setback from the curb for the traffic safety visibility area. However, this sign is located on a one-way street where no one would take a right hand turn onto Main Street, so this traffic visibility requirement does not apply.

Special Condition 9 is suggested to clarify that one of the Bear’s Pizza signs should be removed if additional signs for other businesses are added to the site in the future.

Special Condition 9. In accordance with ILUDC §18.38.070 *et seq*, when an additional signage is added for other businesses at the property, one of the Bear’s Pizza signs shall be removed.

The placement of the monument sign on the southwest corner of the parcel is appropriate. The height is similar to other monument signs along Highway 1.

The proposed signage is visually compatible with the scale and architectural style of the building as both have a contemporary design. It is also more compatible with other signs of the Central Business District than the nearby Chase Bank sign, which is more modern and much taller.

Table 1	
Citywide Design Guidelines (2022)	
<p>Chapter 5: Signs Overall Sign Guidelines, page 42 - Mandatory Standards</p> <p>1. Signs shall be designed to relate to the architectural features of the building on which they are located and create visual continuity with other storefronts on the same or adjacent buildings.</p> <p>2. Signs shall coordinate with the building design, materials, color, size, and placement.</p>	<p>The applicant proposes to establish a new 7-foot-high monument sign on the corner of Alder and Main St. The proposed colors are compatible as the blue architectural features will be removed from the building.</p> <p>The proposed sign will be on wood balustrades which do not match the stucco materials of the building. However, the proposed signage style is more in keeping with the historic character of the downtown and so is acceptable. Both building and sign have a cream background.</p>

Table 1	
Citywide Design Guidelines (2022)	
<p>Monument Signs, page 47 - Mandatory Standards</p> <p>1. Monument signs may be internally illuminated, however, the sign copy shall be the only portion of the sign face that is illuminated. The sign background or field shall be opaque with a non-gloss, non-reflective finish. Signs with individual back-lit letters, or stenciled panels with three-dimensional push-through graphics are encouraged.</p> <p>2. Monument signs shall be placed perpendicular to the street.</p> <p>3. Monument signs shall be placed so that sight lines at entry driveways, pedestrian thoroughways, and circulation aisles are not blocked.</p> <p>4. Monument signs shall be designed to create visual interest and compliment their surroundings. Monument signs shall incorporate architectural elements, details, and articulation as follows: (a) Provide architectural elements on the sides and top to frame the sign pane(s). Use columns, pilaster, cornices, and similar details to provide design interest; (b) Incorporate materials and colors into the sign support structures to match or be compatible with materials and colors of the development the sign serves so it does not appear out of scale with its adjacent building(s).</p> <p>5. Monument signs shall incorporate landscaping at their base. Landscaping around monument signs should be designed to ensure the long-term readability of the sign.</p>	<p>The proposed sign does not comply with all of these standards, therefore the Planning Commission should approve Special Condition 10.</p> <p>The proposed Landscaping Plan includes landscaping for the base of the sign.</p>

Special Condition 10. The applicant shall submit a revised sign design for approval by the Community Development Director which includes: 1) architectural elements on the sides and top to frame the monument sign pane, such as columns, pilaster, cornices, and similar details to provide design interest; 2) if the proposed signs will be internally illuminated only the sign copy may be illuminated; and 3) a lighting plan for the signs if they are not internally illuminated.

MIXED USE PROJECTS:

This application was reviewed for compliance with the specific land use standards in ILUDC §18.42.100 *Mixed Use Projects* including design considerations (A), mix of uses (B), maximum density (C), site layout and project design standards (D), and performance standards (E), as follows:

A. Design considerations. The proposed four residential units would be located on the second floor with a separate external entrance. Because of the building’s location, the residential units would be set back from the road. As the residential units would be on the second floor, this potentially provides the occupants some protection from the commercial uses on the site. Additionally, the residences would be situated above the quietest ground-floor activities (i.e. the retail and restroom facilities) to minimize conflicts between residential and commercial activities. Noise is likely to be the only issue of compatibility, especially noise after 9:00 p.m. However, a person moving into the apartment would be able to identify this as a potential issue prior to moving into the building. The Planning Commission could adopt a special condition to reduce noise by requiring soundproof windows in the apartments. To address potential noise conflicts, the Planning Commission may adopt Optional Special Condition 1.

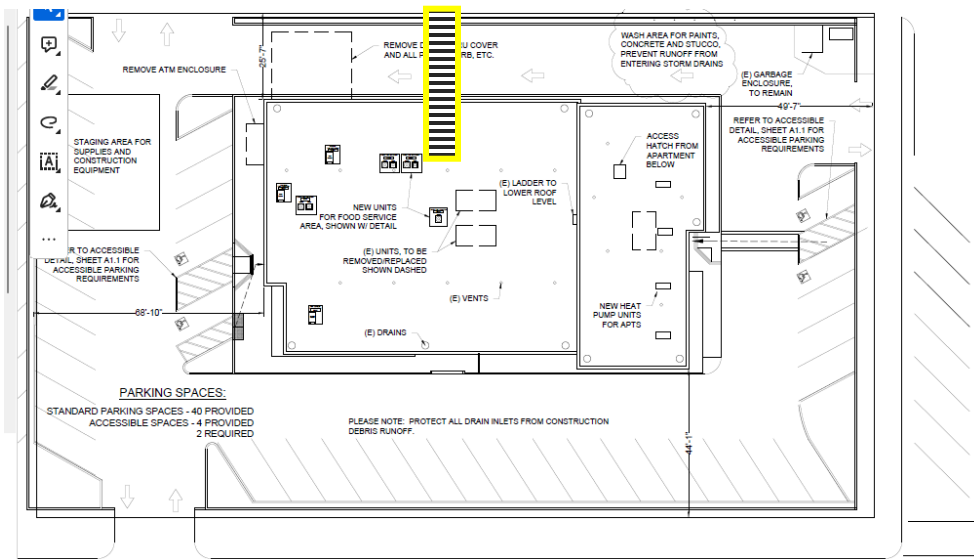
Optional Special Condition 1: The applicant shall install soundproof windows in all residential units, to be inspected as part of the Building Permit inspection and approved prior to final of the Building Permit.

The proposed mixed-use project would not conflict with adjacent restaurants, post-office or bank operations. The pedestrian and vehicular circulation in the area is designed for the level of proposed use. No specific design features are required or recommended to minimize impacts.

The proposed project includes three studio apartments and one one-bedroom apartment. Each residential unit has a separate entrance from a hallway that would provide privacy. The proposed design includes a dedicated separate and primary entrance for residences from the parking lot on the south west side of the building and an emergency egress on the east side of the building.

Site planning and building design shall provide for convenient pedestrian access from the public street into the nonresidential portions of the project, through such means as courtyards, plazas, walkways, and street furniture. There are two informal courtyards near the commercial entrances to the building, but the site does not ease pedestrian access between building entrances and public sidewalks. The applicant proposes to connect the south courtyard to an ADA-parking space facing Alder Street by painting; this proposed pedestrian connection could be continued to the street by adding a short sidewalk across the existing planted area. Additionally, the Planning Commission could require the installation of a “piano keyboard”-style sidewalk between the public sidewalk and the north plaza, as illustrated by Figure 1; although this would result in the loss of two parking spaces (see Attachment 2).

Figure 1 Site Plan with Pedestrian Access Shown



If the Planning Commission chooses to require a sidewalk connection, you may adopt optional Special Condition 2.

Optional Special Condition 2: Prior to final of the Building Permit, the Applicant shall install a thermoplastic safety crosswalk between the North entrance of the building and the public sidewalk, and a concrete sidewalk connection between the south ADA crosswalk and the sidewalk to provide safe ADA access from the sidewalk.

ILUDC §18.42.100.B.6 states, “Site planning and building design shall be compatible with and enhance the adjacent and surrounding residential neighborhood in terms of building design, color, exterior materials, landscaping, lighting, roof styles, scale, and signage.” This is an existing building on an existing site. It is not located in a residential neighborhood and this requirement does not apply.

B. Mixed Uses. The scope of the proposed land uses requires an approved Use Permit.

C. Maximum density. The proposed project would provide four housing units on a 37,500 SF site or 3.46 units/acre, which is below the maximum allowed density of 40 units/acre in the CBD District.

D. Site layout and project design standards. The proposed project includes residential units on the second floor only. Residential tenants will share available parking with all other uses on site. A commercial loading area is not specified on the plan sets; therefore, the Planning Commission should adopt Special Condition 7 as described under the Loading Space analysis section and as recommended by Public Works. Two refuse areas are proposed at the southeast corner of the property for retail and apartment refuse and by the back door of the restaurant that is convenient for the restaurant use. However, both refuse areas require a built enclosure. The Planning Commission should adopt Special Condition 3.

Special Condition 3: The applicant shall install trash enclosures around both refuse collection areas. The enclosures shall be of redwood fencing, stucco or similar treatment as approved by the Director of Community Development prior to final of the Building Permit.

E. Performance standards. The applicant is proposing to change parking lot lighting by replacing lighting fixtures on five existing free standing light standards, by replacing five existing light fixtures on the building facade and by adding three new light fixtures to the building facade. However, the applicant's submitted lighting is not night-sky compliant. The code requires night-sky compliant, downward-facing and shielded lights. Therefore, the Planning Commission should adopt Special Condition 4 to address this issue:

Special Condition 4. Prior to the final of the Building Permit, the applicant shall provide specifications for the installed exterior lighting which shall be night-sky compliant, downward facing and shielded so that light does not enter the apartment windows or cast outside the limits of the property.

The proposed project would minimize noise impacts to the residential uses as they are not directly above the ground floor retail and restroom uses. The restaurant does not have any apartments located above it and this is the loudest component of the mixed-use project. Additionally, compliance with the City's noise ordinance is required of all businesses and residences throughout the City.

DESIGN REVIEW:

The nonconforming structure does not satisfy current Citywide Design Guidelines (2022). As a nonconforming structure, the applicant is not required to modify the building exterior in any way to conform with the Citywide Design Guidelines. However, the applicant is proposing minor modifications to the building's appearance and these proposed changes should comply with the Citywide Design Guidelines. The following exterior alterations are proposed: 1) remove the drive-through canopy, 2) remove the blue-color band that wraps around the building; 3) repair exterior plaster; 4) install twelve new windows, three doors and replace most of the existing windows in the building; and 5) install three new signs.

Figures 2 - 5 illustrate the north, south, east, and west building elevations before renovating (top) and after remodeling (bottom) (see also Attachment 3).

Design Review approval shall require that the Planning Commission first find that the project, as proposed or with changes resulting from the review process and/or conditions of approval, complies with all applicable criteria identified in ILDUC Subsection 18.71.050.F *Project review criteria*.

1. *Complies with the purpose and requirements of ILUDC Subsection 18.71.050.F;*
2. *Provides architectural design, building massing, and scale appropriate to and compatible with the site surroundings and the community;*

- Provides attractive and desirable site layout and design, including building arrangement, exterior appearance and setbacks, drainage, fences and walls, grading, landscaping, lighting, signs, etc.;

Figure 2. West Elevations - Before (top) and After (bottom)

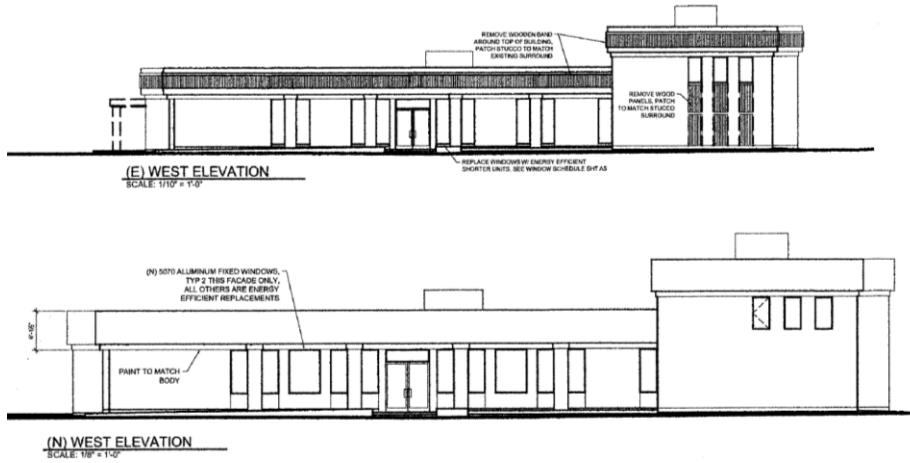


Figure 3. South Elevation – Before (top) and After (bottom)

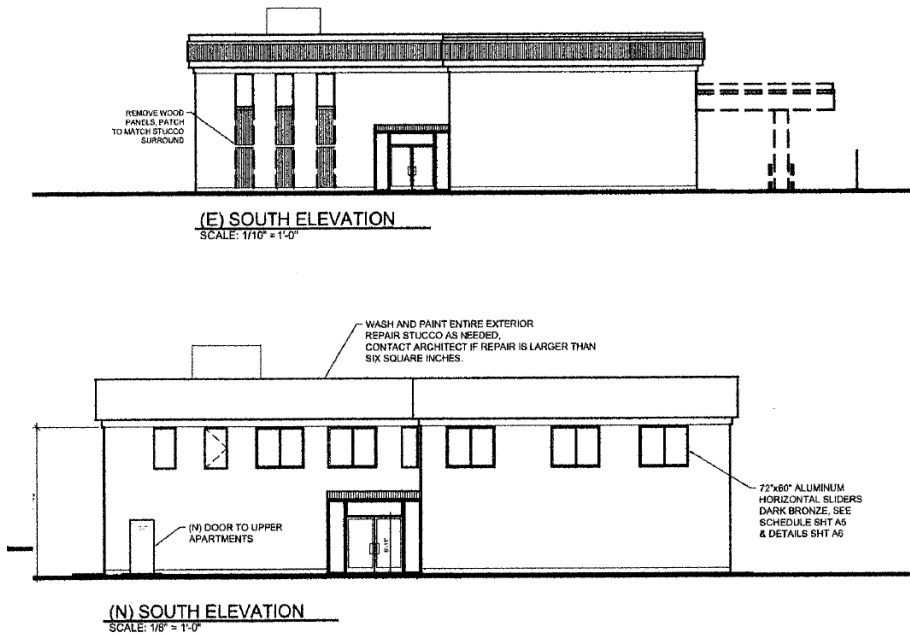


Figure 4. East Elevation – Before (top) and After (bottom)

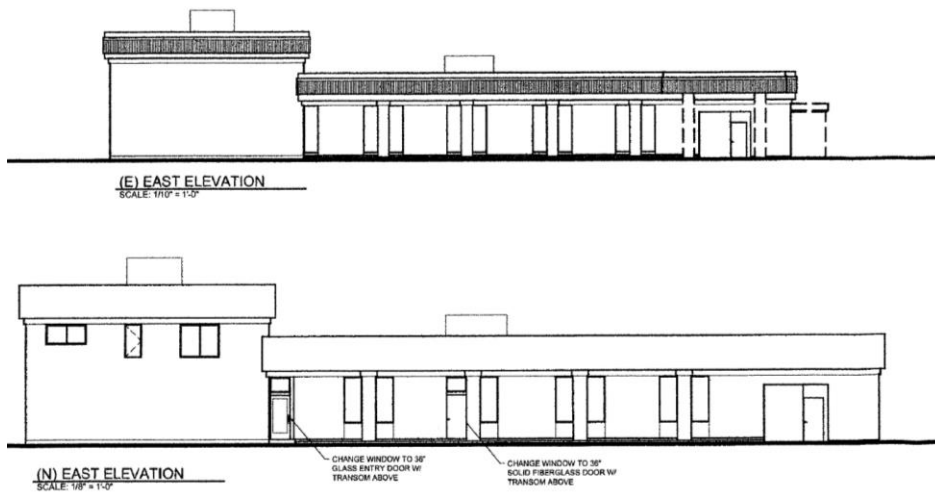
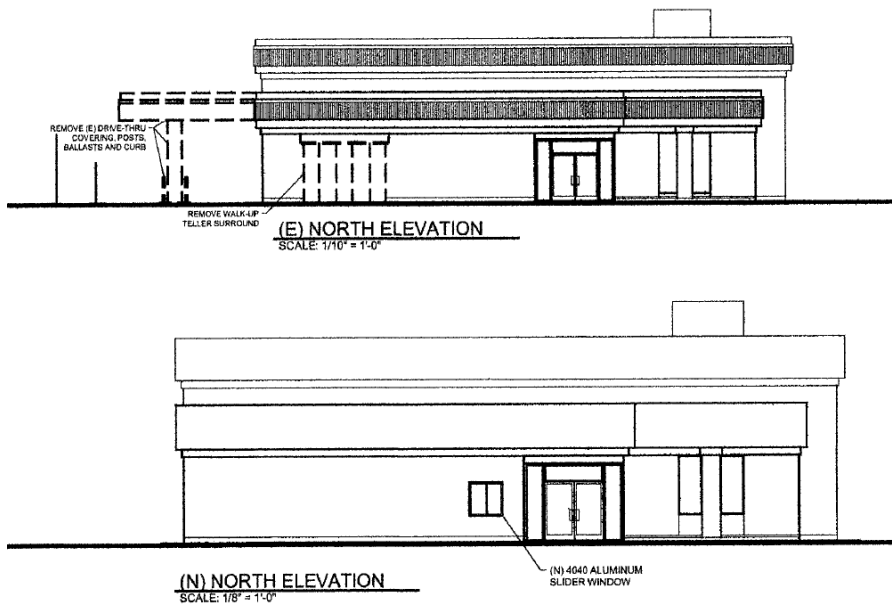


Figure 5. North Elevation– Before (top) and After (bottom)



4. Provides efficient and safe public access, circulation, and parking;
5. Provides appropriate open space and landscaping, including the use of water efficient landscaping;
6. Is consistent with the General Plan, any applicable specific plan; and
7. Complies and is consistent with the City's Design Guidelines.

The proposal to remove the drive-through canopy is exempt from design review as it is not visible from a public-right-of-way. Nevertheless, the following analysis looks at all proposed changes (see Table 1). The table below analyzes the project relative to relevant Design Guidelines:

Table 2.	
Citywide Design Guideline (2022)	Compliance Analysis
<p>Central Business District, page 6</p> <ul style="list-style-type: none"> • Maximize transparent storefronts, especially along the ground floor. • Orient buildings to face the street. Architecture should complement and respect the historic Central Business District vernacular. • Keep the downtown a lively mixed use, 24hr core. 	<p>Yes, as described below:</p> <p>The applicant proposes to replace all non-transparent windows with transparent windows in shorter frames along the ground floor. The applicant also proposes to add 12 new windows. The applicant proposes to remove the blue band along the cornice of the building. As this band is franchise architecture for Bank of America, this change would improve the building with respect to the historic vernacular.</p> <p>Reusing the largely vacant building for a mixed residential, retail and restaurant use will contribute to the lively mix of uses in the downtown.</p>
<p>Additions, Remodels, & Renovations, page 25 - Mandatory Standards</p> <p>1. The design of a proposed addition shall follow the general scale, proportion, massing, and detailing of the original structure. New additions shall be interpretations of, or improve upon, the design of the existing structure wherein the main characteristics of the existing building are incorporated or improved upon using modern construction methods. This may include: (c) c. Sensitivity to the patterns of window and entrance spacing and openings; (d) Harmonizing with existing colors and materials; (e) Inclusion of similar architectural details (i.e. window/door trim, lighting fixtures, decoration); and others.</p> <p>2. Building materials used for the addition shall be of comparable or better quality than the existing building.</p>	<p>The proposed project complies with this requirement.</p> <p>While not an addition, the proposed remodel is minor in nature and respects the existing structure while improving upon it with transparent windows, additional windows and doors and the removal of franchise architectural features.</p> <p>The applicant proposes to install stucco in place of the blue panels, the stucco will match existing surface texture.</p>
<p>Additions, Remodels, & Renovations, page 25 - Preferred Standards</p> <p>1. Introducing or changing the location, size, or style of windows or other openings that alter the architectural rhythm or character of the original building is discouraged.</p> <p>2. When original decorative details and architectural elements were covered up in previous remodeling, these forgotten details should be restored and incorporated in the design of the remodeled building.</p>	<p>The applicant has proposed to replace some windows with doors and change the lower edge of some windows as is appropriate for a restaurant, since the window height should match the table height. This is a preferred standard; compliance is not mandatory.</p> <p>Not applicable.</p>
<p>Loading and Delivery, page 25 - Mandatory Standards</p> <p>1. Loading and delivery service areas shall be located and designed to minimize their visibility, circulation conflicts, and adverse noise impacts to the extent feasible.</p> <p>2. Loading and delivery areas shall be screened with portions of the building, architectural wing</p>	<p>Complies with mandatory requirement.</p> <p>The loading and delivery area for the restaurant is located on the eastern façade facing the alley. The location of the delivery area is appropriate and will minimize conflicts.</p>

Table 2.	
Citywide Design Guideline (2022)	Compliance Analysis
walls, freestanding walls and/or landscaping planting.	This area is screened from the alley with a privacy fence. However, chain link fencing is explicitly prohibited in the Central Business District (see §18.30.050.E.4), which is addressed by Special Condition 6 .
<p>Mixed Use Development, page 30 - Site Planning Mandatory Standards</p> <p>1. Loading areas and refuse storage facilities for the commercial use should be located as far as possible from residential units and should be completely screened from view from adjacent residential portions of the project or another adjacent residential uses. The location and design of refuse storage facilities should mitigate nuisances from odors when residential uses might be impacted.</p>	The loading area is appropriately located and screened. One of the refuse storage areas must be relocated closer to the restaurant back door and shall be effectively screened with redwood fencing. See Special Condition 3 .
<p>Architecture, page 31 - Mandatory Standards</p> <p>1. When residential & commercial uses are in the same structure, separate pedestrian entrances should be provided for each use.</p> <p>2. All roof-mounted equipment should be completely screened from views above. Special consideration should be given to the location and screening of noise generating equipment such as refrigeration units, air conditioning, and exhaust fans so that they don't disturb residences.</p>	A separate pedestrian entrance is provided on the south side of the building. As illustrated in the project elevations, a new piece of mounted equipment will be visible from the apartments and the street. Planning Commission may adopt Special Condition 8 to address this issue. See Special Condition 8 .
<p>Site Amenities, page 31 - Mandatory Standards</p> <p>1. Outdoor Space. include publicly accessible, designed outdoor space for resident and public use, that is proportionate to the size of the proposed buildings. Public spaces can include plazas, parks, courtyards, corridors, sidewalk cafes, trails, outdoor seating areas and/or similar active and passive areas. Public spaces should be located in visually prominent, accessible and safe locations that promote year-round activity.</p> <p>2. Usable open space or public gathering places accessible to the community (e.g., a roof garden, expanded waiting area adjacent to a bus stop, etc.) shall be provided when feasible.</p> <p>3. Landscaping, shade trees, and benches shall be incorporated into the site design as well as outdoor dining areas to encourage pedestrian activity on the ground floor level of a building.</p>	<p>The building includes two mini-plazas/entryways. These are pre-existing and no changes are proposed to them.</p> <p>The applicant has not proposed any changes to the open space areas of the project, so the project is exempt from compliance with this requirement.</p> <p>There are some limitations to the landscaping since the parking and planting areas are already defined. The applicant has proposed just a few tables for outdoor dining in the plaza at the front of the restaurant.</p>

Special Condition 8. The applicant shall install screening around the mechanical equipment on the roof. Such screening shall consist of redwood lattice or similar material as approved by the Community Development Director prior to final of the building permit.

If the applicant should choose to paint the building in the future that can be accomplished with an over-the-counter color review. The applicant has also expressed some interest in painting a large mural on the building to make it more attractive. A mural project can also be approved as an over-the-counter review.

ENVIRONMENTAL DETERMINATION:

This project is exempt from CEQA under section 15301 Existing Facilities because there will be no substantial changes to the structure and the use is similar to the previous use. There are no relevant exceptions to the exemption and there are no potential significant environmental impacts from this project.

ATTACHMENTS:

1. Applications
2. Site Plan
3. Elevations
4. Floor Plan
5. Landscaping Plan
6. Lighting Plan
7. Signage Plan
8. Resolution of the Fort Bragg Planning Commission Approving Use Permit 2-23 (UP 2-23), Design Review 3-23 (DR 3-23), Sign Permit 8-23 (SP 8-23) for a Mixed-Use Project at 228 N. Main St.
9. Public Hearing Notice
10. Notice of Exemption

CITY OF FORT BRAGG
COMMUNITY DEVELOPMENT DEPARTMENT
 416 North Franklin Street
 Fort Bragg, CA 95437
 Tel: (707) 961-2827
 Fax: (707) 961-2802
 http://city.fortbragg.com



Case No(s) _____
 Date Filed _____
 Fee _____
 Receipt No. _____
 Received by _____

Office Use Only - August 2016

PLANNING APPLICATION FORM

Please complete this application thoroughly and accurately, and attach the required fee. Incomplete applications cannot be processed until they are complete. Please note that administrative permits may require additional fees if an interested party requests a public hearing. Public hearing expenses are borne by the applicant.

City of Fort Bragg
 Received
 MAY 19 2023

APPLICANT

Name: Christine Poos
 Mailing Address: _____
 Address: _____ Phone: _____
 City: _____ State: _____ Zip Code: _____ Email: _____

PROPERTY OWNER

Name: Udo Poos
 Mailing Address: _____
 Address: _____ Phone: _____
 City: _____ State: _____ Zip Code: _____ Email: _____

AGENT

Name: Christina Poos
 Mailing Address: _____
 Address: _____ Phone: _____
 City: _____ State: CA Zip Code: _____ Email: _____

STREET ADDRESS OF PROJECT 228 N Main St FB, CA 95437

ASSESSOR'S PARCEL NUMBER(S) 008-153-28

PROPERTY SIZE 37,500 Square Feet or _____ Acres

TYPE OF APPLICATION (Check all applicable boxes)

- | | |
|---|--|
| <input checked="" type="checkbox"/> Design Review/Site & Architectural Review | <input type="checkbox"/> General Plan Amendment |
| <input checked="" type="checkbox"/> Use Permit/Minor Use Permit | <input type="checkbox"/> Local Coastal Program Amendment |
| <input type="checkbox"/> Coastal Development Permit | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Variance/Administrative Variance | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Pre-application Conference |
| <input type="checkbox"/> Subdivision (no. of parcels) _____ | <input type="checkbox"/> Limited Term Permit |
| <input type="checkbox"/> Certificate of Appropriateness (COA) | <input type="checkbox"/> Permit Amendment (list permits) _____ |
| <input type="checkbox"/> Planned Development Permit | |
| <input type="checkbox"/> Certificate of Compliance | |

PROJECT DESCRIPTION

Briefly describe project as shown on proposed plans Build out Restaurant, Retail space
4 Apartments

City of Fort Bragg
 Community Development Department
 416 North Franklin Street
 Fort Bragg, CA 95437
 Tel: (707) 961-2827
 Fax: (707) 961-2802
<http://city.fortbragg.com>
 email: CDD@fortbragg.com



Sign Permit # _____
 Date Filed _____
 Fee _____
 Receipt No. _____
 Received by _____

Office Use Only – December 2022

FBMC 17.38 (for properties within the Coastal Zone)

FBMC 18.38 (for properties outside the Coastal Zone)

City of Fort Bragg
 Received

MAY 19 2023

SIGN PERMIT APPLICATION

Sign permit applications must be submitted with a *drawing of the proposed sign** and a \$50 sign permit fee. Applications are reviewed for compliance with the Fort Bragg Municipal Code (see above FBMC sections) and the Citywide Design Guidelines. The City's sign permit brochure is also a helpful resource. These codes, brochures, and documents can be found on the City's website at <http://city.fortbragg.com>. Please note that some signs also require a building permit.

Applicant Name: Christina Proos / Udo H Proos Property Owner
 Mailing Address: [REDACTED]
 City & State: [REDACTED]
 Phone Number: [REDACTED] Email: [REDACTED]
 Business Name & Property Address: Deav's Pizza + Unknown Business TBD
 Sign Contractor's Name (if applicable) N/A

What is the area of the proposed sign in square feet? 7.08 sq.ft. + 7.08 sq.ft. + 28 sq.ft. three signs total 42.16 sq. ft.

How will the sign be lighted? directly lit w/ landscape spot light.

What is the length of the building which has frontage on a public street? (Include both building frontage lengths for corner buildings): 250' on Main St. 150' on Alder St.

What is the area of any existing sign(s) on the property? approximately 42 sq. ft.

Exactly where on the property or building will the sign be located? See landscaping plan at each entrance + at corner.

Exactly how high will the top and bottom of the sign be from the ground? about 4' above ground to top.

How will the sign be mounted? () flat against the building, () right angles to the building, freestanding, () other re-using existing placement and backing. new copy -

***ATTACH AN ACCURATE DRAWING, CLEARLY DESCRIBING THE DIMENSIONS, DESIGN, COLORS, AND CONSTRUCTION MATERIALS OF THE PROPOSED SIGN.**

The information provided in this application is accurate and complete to the best of my knowledge.

Signature: Udo Proos

Date: 05-05-2023

PROJECT DATA:
 EXISTING OCCUPANCY IS B (BOTH FLOORS)
 A-2 OCCUPANCY, RESTAURANT W/OUT FIXED SEATS
 A-3 OCCUPANCY, AMUSEMENT ARCADE AREA
 M OCCUPANCY, RETAIL SPACE
 R-2 OCCUPANCY, FOUR APARTMENTS UPSTAIRS

CONSTRUCTION TYPE V-B, LIGHT WOOD FRAMED
 FIRE SPRINKLERS - BOTH FLOORS

ASSESSOR'S PARCEL NUMBER 008-153-28
 LOT SIZE 0.86 ACRES (37,500 ± SQ. FT.)

LOT COVERAGE
 BUILDING 9250 SQ. FT. +/-
 WALKWAYS 3000 SQ. FT. +/-
 LANDSCAPE 3150 SQ. FT. +/-
 PARKING 22100 SQ. FT. +/-
 TOTAL 36200 SQ. FT. +/-

PLEASE NOTE:
 -NOT ALL LANDSCAPING SHOWN, FOR SIMPLIFICATION.
 -PROPERTY LINES ARE DIAGRAMMATIC ONLY.

A Remodeled Restaurant for:

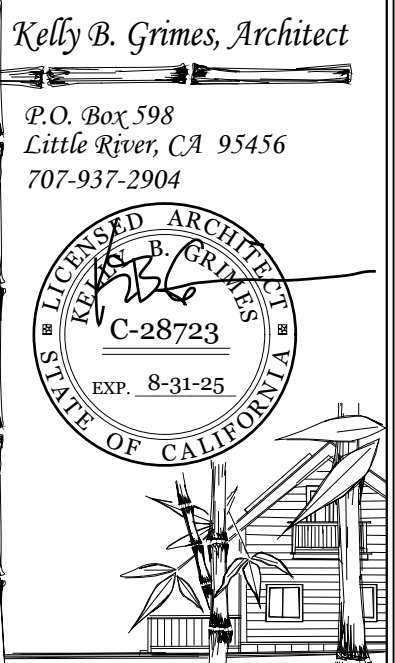
Eric and Christina Poos
dba Bear's Pizza
228 N. Main Street
Fort Bragg, California
95437 AP# 008-153-28

SCOPE OF WORK:

- CONVERT EXISTING RETAIL SPACE INTO A PIZZA RESTAURANT WITH GAMING AREA AND SEPARATE RETAIL SPACE.
- CONSTRUCT 4 RESIDENTIAL UNITS IN UPPER FLOOR
- VERIFY OR CONSTRUCT ACCESSIBLE PARKING SPACES THAT ARE COMPLIANT TO PLAN AND RESTRIPE PARKING AREA AS SHOWN

ARCHITECTURAL NOTES

1. CONSTRUCTION TO COMPLY IN EVERY MANNER WITH 2022 EDITION OF CALIFORNIA BUILDING CODE(CBC) AND ALL PERTINANT CALIFORNIA CODES INCLUDING, BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, FIRE, ENERGY, ETC. CONVENTIONAL CONSTRUCTION PRACTICES ARE ASSUMED UNLESS OTHERWISE NOTED. VERIFICATION OF COMPLIANCE WITH THE CBC SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY.
2. THIS SET OF DRAWINGS REPRESENTS THE BEST EFFORTS OF THE ARCHITECT. HOWEVER, THERE MAY BE DISCREPANCIES OR INACCURACIES WHICH, WHEN FOUND, SHOULD BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
3. THE CONTRACTOR (AND HIS SUB-CONTRACTORS) SHALL ALSO BE EXPECTED TO PUT THEIR BEST EFFORTS FORWARD AND WHEN THIS IS NOT POSSIBLE THE ARCHITECT SHOULD BE NOTIFIED AS SOON AS POSSIBLE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND DUST-PROOF PARTITIONS AS NEEDED FOR PROTECTIONS AGAINST ACCIDENT, AND SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF HIS WORK AND THE OWNER'S PROPERTY FROM DAMAGE OR LOSS DURING CONSTRUCTION.
5. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AT THE JOB AS NECESSARY AND REQUIRED BY CODE.
6. ALL GRADING SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE APPROPRIATE BUILDING CODE. ALL EXCAVATED MATERIAL RESULTING FROM GRADING SHALL BE RELOCATED ON THE SITE TO A LOCATION DETERMINED BY THE OWNER AND SO AS NOT TO AFFECT NATURAL DRAINAGE COURSES.
7. ALL PATIO AND FINISHED GRADE SURFACES SHALL SLOPE AWAY FROM NEW AND EXISTING BUILDINGS. CONTRACTOR TO VERIFY THAT ALL AREAS AFFECTED BY CONSTRUCTION ARE POSITIVELY DRAINED.
8. CONTRACTOR SHALL PROVIDE ACCESS AND VENTILATION IN ACCORDANCE WITH THE APPROPRIATE BUILDING CODE (AND AS SHOWN ON DRAWINGS) TO CRAWL SPACES AND PLUMBING CHASES, AND SHALL CONFIRM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
9. CONTRACTOR SHALL PROTECT ALL FINISHED FLOOR SURFACES FROM DAMAGE.
10. CONTRACTOR SHALL VERIFY THAT WATER SUPPLY LINES ARE SIZED TO PROVIDE ACCEPTABLE PRESSURE AND VOLUME AS REQUIRED BY THE UNIFORM PLUMBING CODE. ALL PLUMBING FIXTURES SHALL COMPLY WITH PRESCRIPTIVE REQUIREMENTS OF CAL-GREEN CODE.
11. ALL METAL FLASHING, GUTTER AND DOWNSPOUT JOINTS SHALL BE LAPPED, JOINED AND SEALED SO THAT THEY ARE WATER TIGHT TO PROVIDE POSITIVE WATERFLOW.
12. GLASS DOORS & ADJACENT GLASS PANELS, ALL GLAZED OPENINGS WITHIN 18" OF THE FLOOR, AND, GLAZINGS ADJACENT TO STAIRS SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.
13. ALL POSTS, PLATES, SLEEPERS, ETC. BEARING ON OR EMBEDDED IN CONCRETE OR MASONRY SHALL BE PRESSURE TREATED LUMBER, UNO.
14. SMOKE AND CO2 DETECTORS SHALL BE PROVIDED AS REQUIRED BY THE APPROPRIATE BUILDING CODE.
15. WHERE SPECIFIED ITEMS ARE MENTIONED, THE CONTRACTOR MAY SUBMIT ALTERNATE MATERIALS FOR APPROVAL BY THE OWNER AND THE ARCHITECT.
16. CONTRACTOR SHALL PROVIDE A BLANKET ONE-YEAR GUARANTEE FOR THE TOTAL JOB WITH THE SEPARATE GUARANTEE FOR SPECIFIC TRADES/EQUIPMENT ITEMS, WITH THE NAMES OF LOCAL REPRESENTATIVES TO BE CONTRACTED FOR SERVICE. PROVIDE OPERATING AND MAINTENANCE BROCHURES AS REQUIRED.
17. CONTRACTOR SHALL PROVIDE ONE REPRODUCIBLE DRAWING INDICATING ALL DIFFERENCES, CHANGES, ETC. FROM THE APPROVED SET OF DRAWINGS.
18. THIS PROJECT SHALL CONFORM TO ALL CURRENT (2022) WILDLAND URBAN INTERFACE (W.U.I.) STANDARDS AND CODES.
19. THE FIRE SPRINKLER SYSTEM IS BEING DESIGNED AND WILL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
20. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED TO THE COUNTY PRIOR TO BEGINNING CONSTRUCTION.
21. A MAINTENANCE MANUAL SHALL BE PROVIDED AT THE FINAL INSPECTION AND SHALL INCLUDE 10 POINTS CONCERNING THE OPERATION AND MAINTENANCE OF THE BUILDING.
22. USE LOW VOC CAULKS, CONSTRUCTION ADHESIVES AND SEALANTS THAT MEET MENDOCINO COAST AIR QUALITY MANAGEMENT DISTRICT (MCAQMD) RULE 1168.
23. USE LOW VOC COATINGS THAT MEET MCAQMD RULE 1113.
24. ALL AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND VOC LIMITS.
25. DOCUMENTATION MUST BE PRESENTED WHEN REQUESTED TO VERIFY COMPLIANCE WITH THE VOC RULES.
26. NO WATER DAMAGED OR ROTTEN MATERIAL SHALL BE USED. ALL FRAMING SHALL HAVE A MOISTURE CONTENT LESS THAN 19% PRIOR TO ENCLOSING.
27. ANNULAR SPACES AROUND PIPES AND WIRES SHALL BE FILLED TO PREVENT AIR OR RODENT INFILTRATION.
28. ALL PARTICLE BOARD AND HARDWOOD PLYWOOD USED ON INTERIOR SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

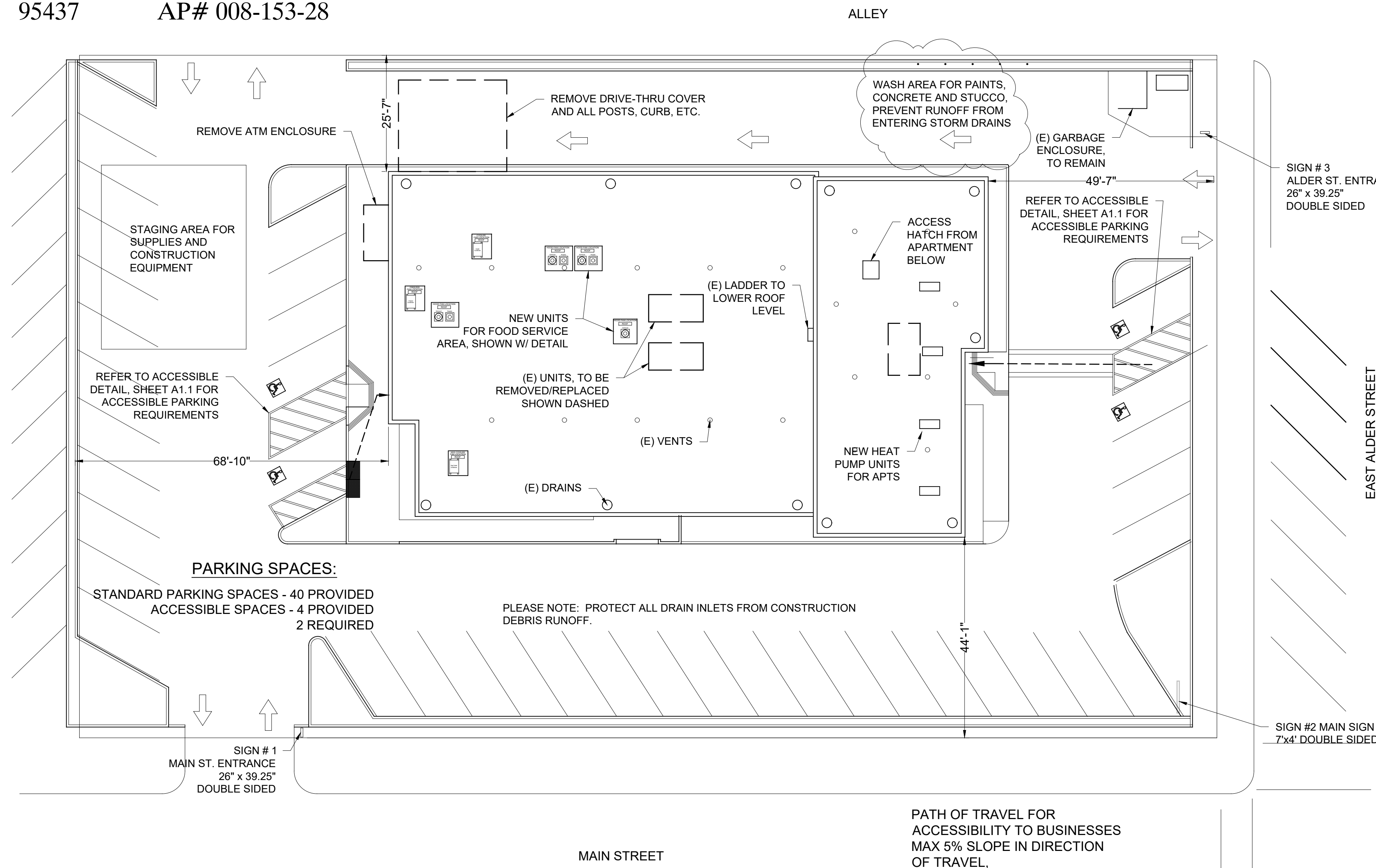


REVISIONS	BY

NOTES:

ABBREVIATIONS

AFF.	ABOVE FINISHED FLOOR
@	AT
BM.	BEAM
BLKS., BLKG.	BLOCKS, BLOCKING
CL.	CENTER LINE
CL'G.	CEILING
CLR.	CLEAR
CONC.	CONCRETE
CONSTR. JT.	CONSTRUCTION JOINT
DBL.	DOUBLE
DECK'G.	DECKING
DF.	DOUGLAS FIR
DWG.	DRAWING
EA.	EACH
EQ.	EQUAL
(E)	EXISTING
EXT.	EXTERIOR
FLR.	FLOOR
FT	FEET, FOOT
FTG.	FOOTING
GALV.	GALVANIZED
GSM	GALVANIZED SHEET METAL
GYP BD.	GYP SUM BOARD (SHEETROCK)
HT.	HEIGHT
INFO.	INFORMATION
INSUL.	INSULATION
INT.	INTERIOR
MIN.	MINIMUM
MFR.	MANUFACTURER
MTL.	METAL
(N)	NEW
NIC	NOT IN CONTRACT
OC.	ON CENTER
PL.	PLATE LINE/PLATE/PROPERTY LINE
PLY.	PLYWOOD
PT.	PRESSURE TREATED
RDWD.	REDWOOD
REC'S.	RECOMMENDATIONS
REINF.	REINFORCING, REINFORCEMENT
RO.	ROUGH OPENING
SAD.	SEE ARCHITECTURAL DRAWINGS
SCHED.	SCHEDULE
SHT.	SHEET
SPAC'G.	SPACING
SO.	SQUARE
SSD.	SEE STRUCTURAL DRAWINGS
STAGG'D.	STAGGERED
STR.	STRUCTURE/STRUCTURAL
T&B	TOP AND BOTTOM
TO.	TOP OF
TBD.	TO BE DETERMINED
TS.	TUBE STEEL
TYP.	TYPICAL
UNO./UON.	UNLESS NOTED OTHERWISE
VIF.	VERIFY IN FIELD
W/	WITH



PATH OF TRAVEL FOR ACCESSIBILITY TO BUSINESSES
 MAX 5% SLOPE IN DIRECTION OF TRAVEL.
 MAX 2% CROSS SLOPE

DEFERED SUBMITTAL:
 • A REMODELED FIRE SPRINKLER PLAN WILL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

DRAWING INDEX

ARCHITECTURAL DRAWINGS:

- A1 SITE PLAN AND ARCHITECTURAL NOTES
- A1.1 ACCESSIBLE DETAILS
- A2 GROUND FLOOR PLANS
- A2.0 DIMENSIONED GROUND FLOOR PLAN
- A2.1 UPPER FLOOR PLANS
- A2.2 1/4" UPPER FLOOR PLAN W/ DOOR, APPLIANCE & FINISH SCHEDULES
- A3 EXTERIOR ELEVATIONS
- A4 SECTIONS
- A5 DOOR, WINDOW & PLUMBING SCHEDULES

- A6 WINDOW AND STUCCO DETAILS
- M2 MECHANICAL PLAN - GROUND FLOOR
- M2.1 MECHANICAL PLAN - UPPER FLOOR
- P2 PLUMBING PLAN - GROUND FLOOR
- F2 FIRE SPRINKLER PLAN - GROUND FLOOR -DEFERRED-
- F2.1 FIRE SPRINKLER PLAN - UPPER FLOOR -DEFERRED-
- E2 ELECTRICAL PLAN - GROUND FLOOR
- E2.1 ELECTRICAL PLAN - UPPER FLOOR

STRUCTURAL DRAWINGS:

- SN STRUCTURAL NOTES
- S1 EXISTING STRUCTURAL PLANS
- S2 MODIFIED STRUCTURAL PLANS
- S3 DETAIL UPPER ROOF FRAME PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS
- SD3 STRUCTURAL DETAILS

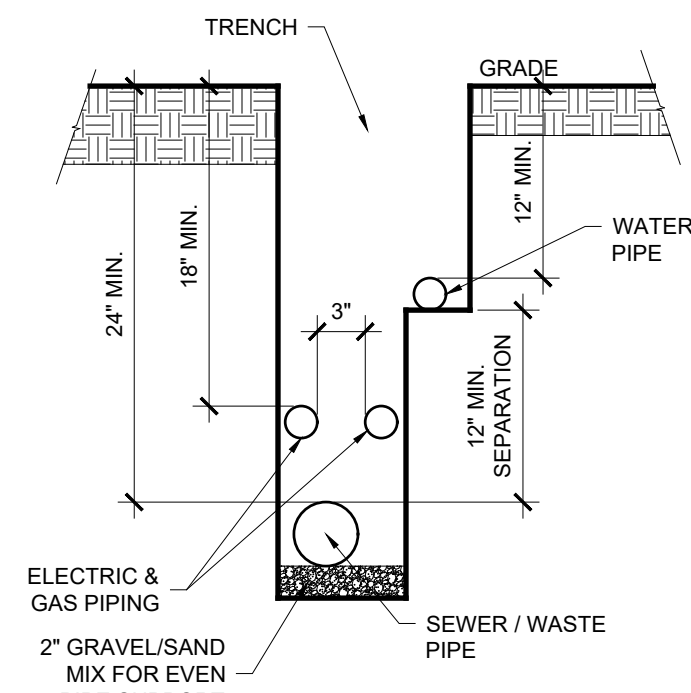
ENERGY DRAWINGS:

- EC1.1-3.1 COMMERCIAL LIGHTING COMPLIANCE SHEETS

FOOD SERVICE DRAWINGS:

- FST FOOD SERVICE NOTES
- FS1 FOOD SERVICE PLAN
- FS2 F.S. EQUIPMENT SCHEDULE
- FS3 F.S. EQUIPMENT PLUMBING PLAN
- FS4 F.S. EQUIPMENT ELECTRICAL PLAN
- FS5.1 F.S. HOOD SYSTEM - 5.11

SITE PLAN
 SCALE: 1" = 16'-0"



TRENCH DETAIL
 NO SCALE

REMODELING PLANS FOR:

PAPA BEAR'S PIZZA
 228 N. MAIN ST.
 FORT BRAGG, CA 95437

A.P. #008-153-28-00

DATE: DECEMBER 22, 2023
 SCALE: AS NOTED
 DRAWN BY: KBG
 JOB: POOS

SITE PLAN & ARCHITECTURAL NOTES

REVISION	BY

NOTES

City of Fort Bragg
 Received
 DEC 27 2023

REMODELING PLANS FOR:

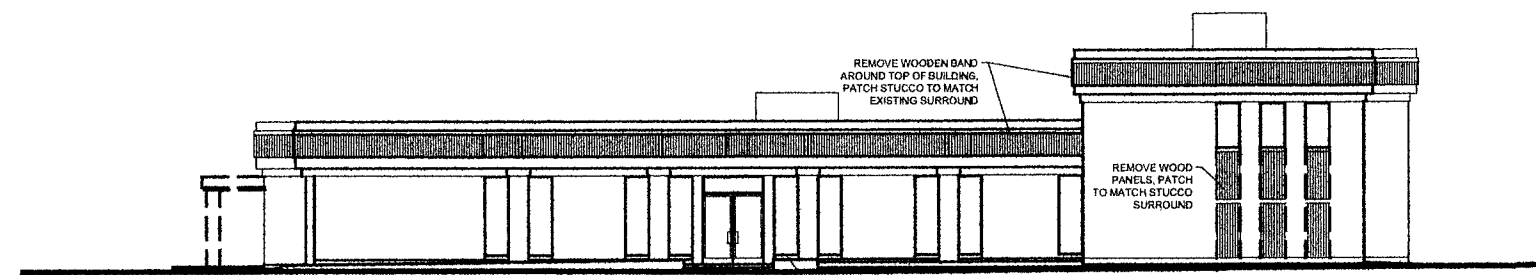
PAPA BEAR'S PIZZA
 228 N. MAIN ST.
 FORT BRAGG, CA
 95437

A.P. #008-153-28-00

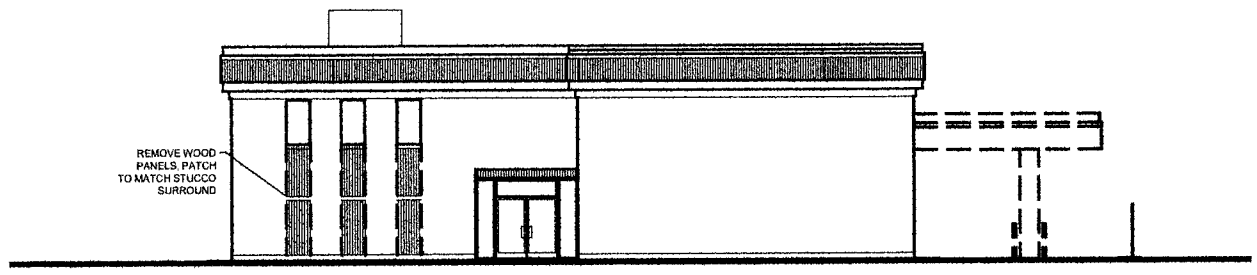
DATE	December 22, 2023
SCALE	AS NOTED
DRAWN BY	KBG
CHECKED BY	POB

EXTERIOR ELEVATIONS

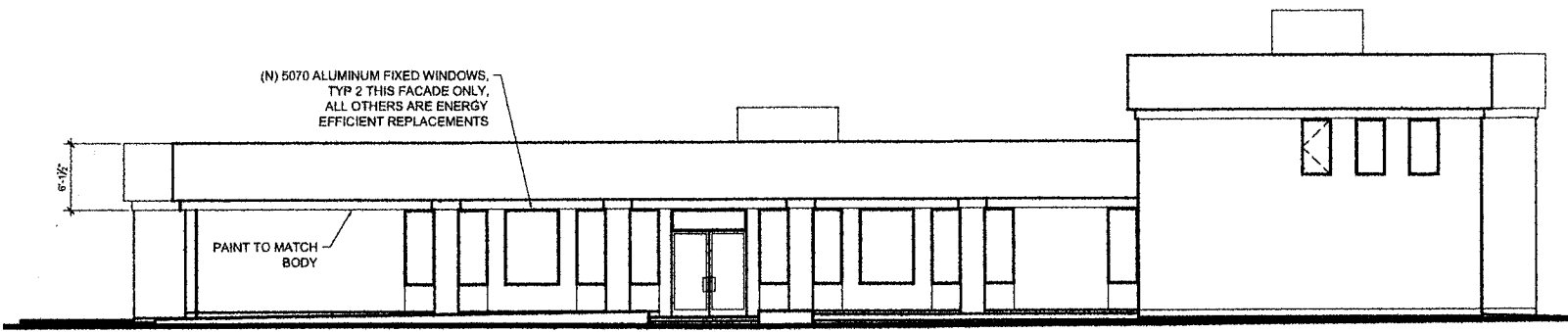
A3
 OF - SHEETS



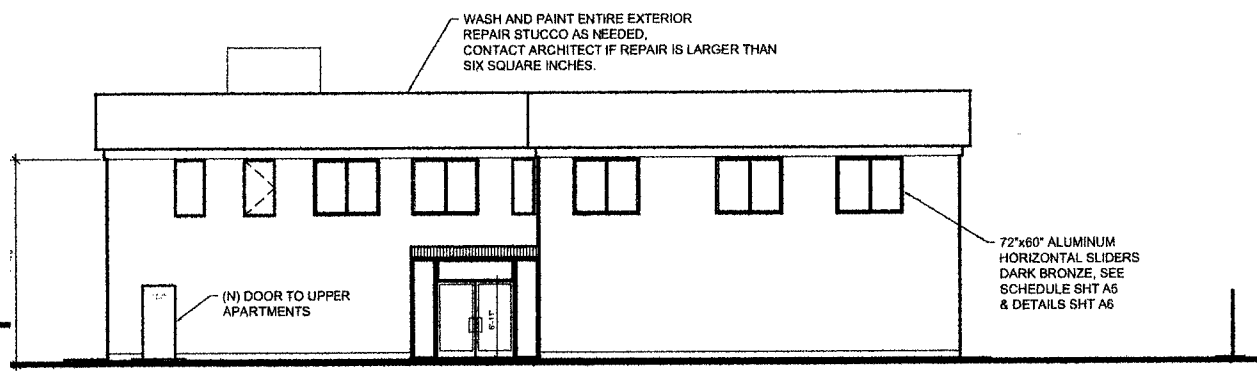
(E) WEST ELEVATION
 SCALE: 1/10" = 1'-0"



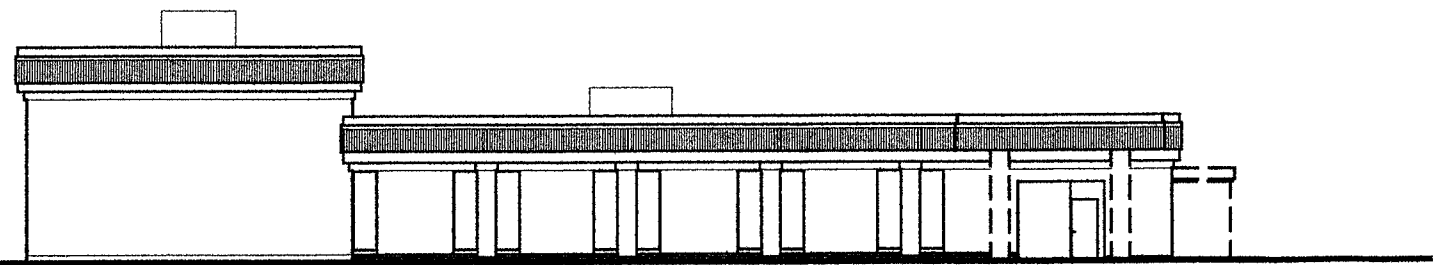
(E) SOUTH ELEVATION
 SCALE: 1/10" = 1'-0"



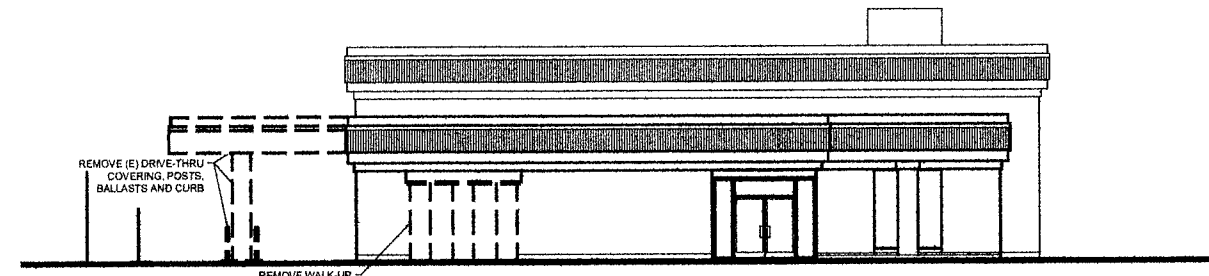
(N) WEST ELEVATION
 SCALE: 1/8" = 1'-0"



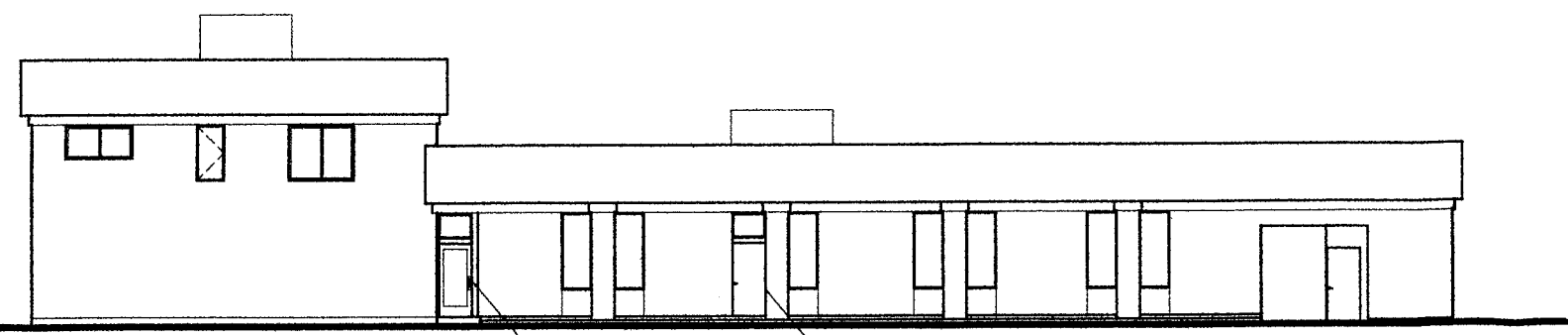
(N) SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



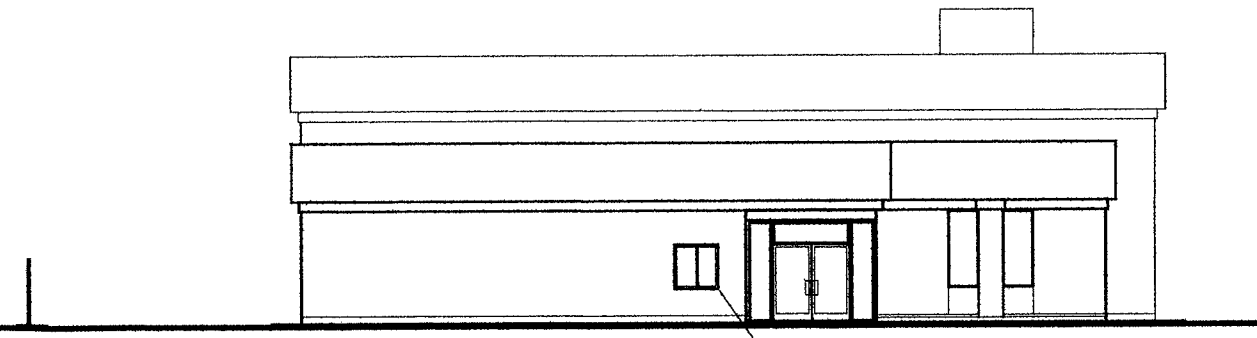
(E) EAST ELEVATION
 SCALE: 1/10" = 1'-0"



(E) NORTH ELEVATION
 SCALE: 1/10" = 1'-0"



(N) EAST ELEVATION
 SCALE: 1/8" = 1'-0"



(N) NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

SCALE DESIGNATIONS ARE ONLY ACCURATE ON FULL SIZE (24"x36") SHEETS

LEGEND TO SYMBOLS:

DRAWING TITLE
DRAWING SCALE

A# SECTION CUT DRAWING NUMBER SHEET NUMBER

A# DETAIL DRAWING NUMBER SHEET NUMBER

DOOR NUMBER, SEE SCHEDULES, SHT A5

WINDOW NUMBER

PLUMBING FIXTURE CALL OUT

APPLIANCE CALL OUT

ELEVATION OF FINISHED GRADE (+0' IS INTERIOR FINISH FLOOR FOR REFERENCE)

(E) WALL TO REMAIN

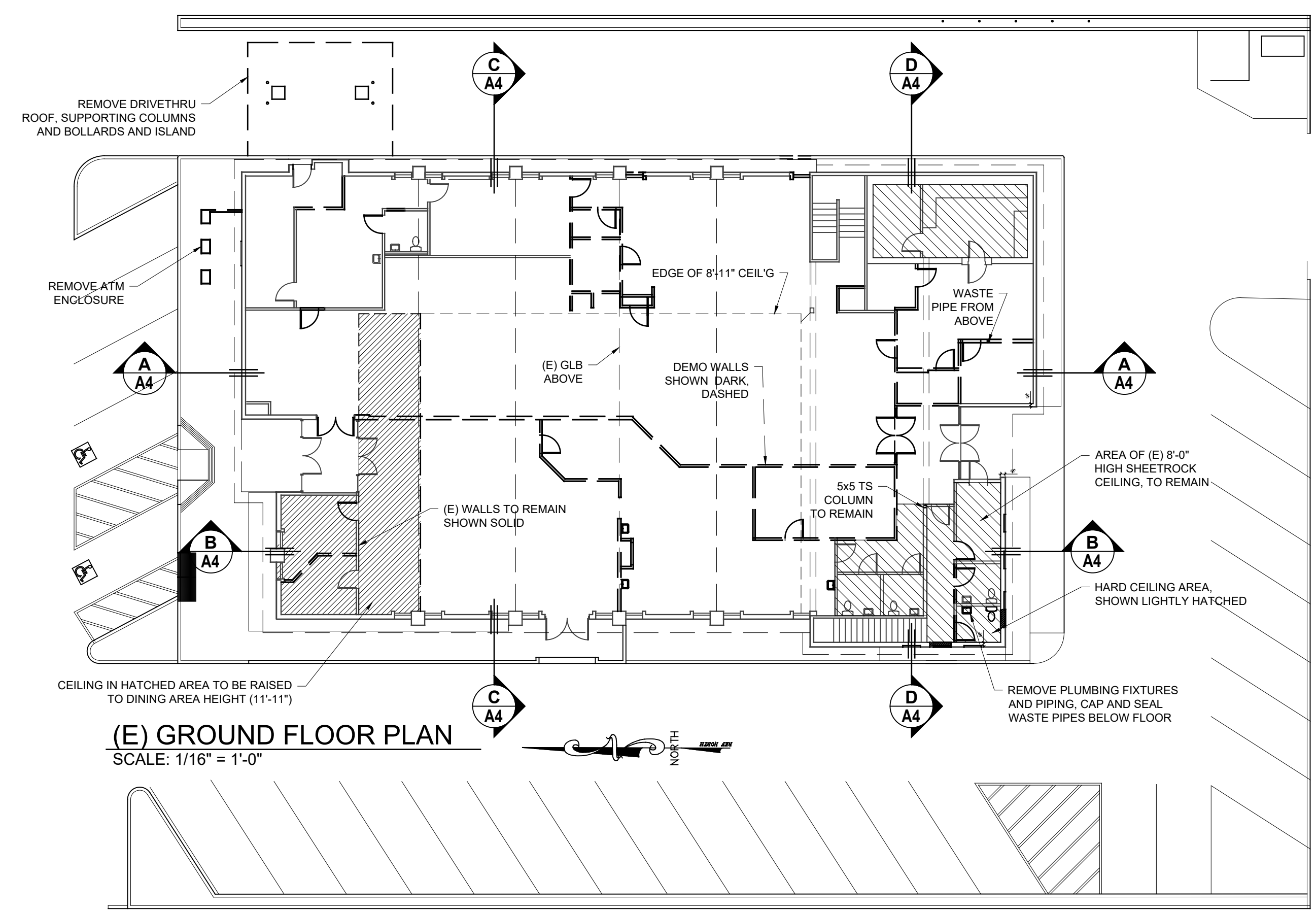
(E) WALL TO BE REMOVED

(N) WALL 2x6 (2x4) W/ 1/2" GYP BD. EA SIDE

FLOOR SINK, SEE FOOD SERVICE EQUIPMENT DRAWINGS FOR KITCHEN AREA DETAILS

REVISIONS	BY

NOTES:



(E) GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"

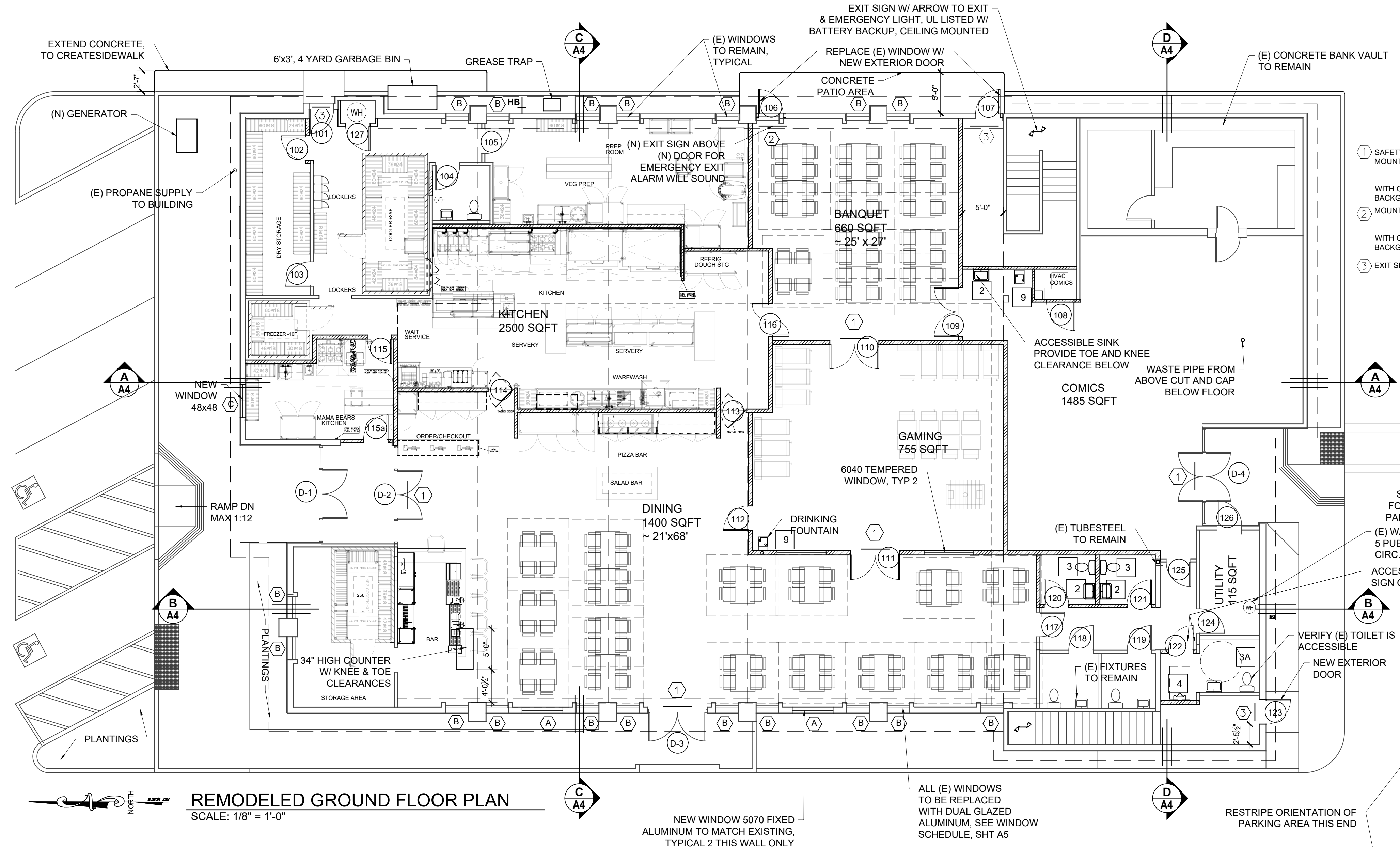
PLUMBING CALCULATIONS

- FLOOR DRAIN,
- FIXTURE COUNT: (PER TABLE 422.1 IN CPC2022)
- | | | |
|-------------------|------------|----------|
| WATER CLOSETS | 2 MALE, | 4 FEMALE |
| URINALS | 1 MALE, | |
| LAVATORIES | 1 MALE, | 2 FEMALE |
| DRINKING FOUNTAIN | 1 REQUIRED | |
- 254 OCCUPANT LOAD IS PRESUMED
 HALF MEN, HALF WOMEN,
 127 MEN AND 127 WOMEN
 USED FOR FIXTURE COUNT

PLEASE REFER TO FOOD SERVICE EQUIPMENT DRAWINGS FOR ADDITIONAL PLUMBING INFORMATION FOR KITCHEN AND BAR AREAS.

OCCUPANT LOAD: (PER TABLE 1004.5 IN CBC2022)

GAMING FLOORS 11 GROSS, 30 NET	$650 / 11 = 59.1 = 60$
DINING 15 NET ASSEMBLY W/OUT FIXED SEATS, TABLES & CHAIRS BAR AREA (6 SEATS)	$1528 / 15 = 101.8 = 102$ $= 6 = 6$
BANQUET 15 NET	$685 / 15 = 45.67 = 46$
COMMERCIAL KITCHEN 200 GROSS	$2510 / 200 = 12.5 = 13$
MERCANTILE 60 GROSS	$1485 / 60 = 24.8 = 25$
STORAGE/UTILITY 300 GROSS	$355 / 300 = 1.2 = 2$
TOTAL OCCUPANT LOAD	= 254 PERSONS



REMODELED GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

- SAFETY SIGNS AT DOORS: MOUNT DIRECTLY ABOVE DOOR WITH SIGN TO READ: "THIS DOOR TO REMAIN UNLOCKED & OPEN WHEN BUILDING IS OCCUPIED" WITH ONE INCH HIGH BLACK LETTERS ON A WHITE BACKGROUND.
- MOUNT DIRECTLY ON DOOR WITH SIGN TO READ: "EMERGENCY EXIT ONLY ALARM WILL SOUND" WITH ONE INCH HIGH BLACK LETTERS ON A WHITE BACKGROUND.
- EXIT SIGN LIGHTED

SEE SHEET A1.1 FOR ACCESSIBLE PARKING DETAILS
 (E) WATER HEATER FOR 5 PUBLIC TOILETS, INSTALL CIRC. PUMP
 ACCESSIBLE TOILET SIGN ON WALL & DOOR

ALL (E) WINDOWS TO BE REPLACED WITH DUAL GLAZED ALUMINUM, SEE WINDOW SCHEDULE, SHT A5

RESTRIP ORIENTATION OF PARKING AREA THIS END

REMODELING PLANS FOR:

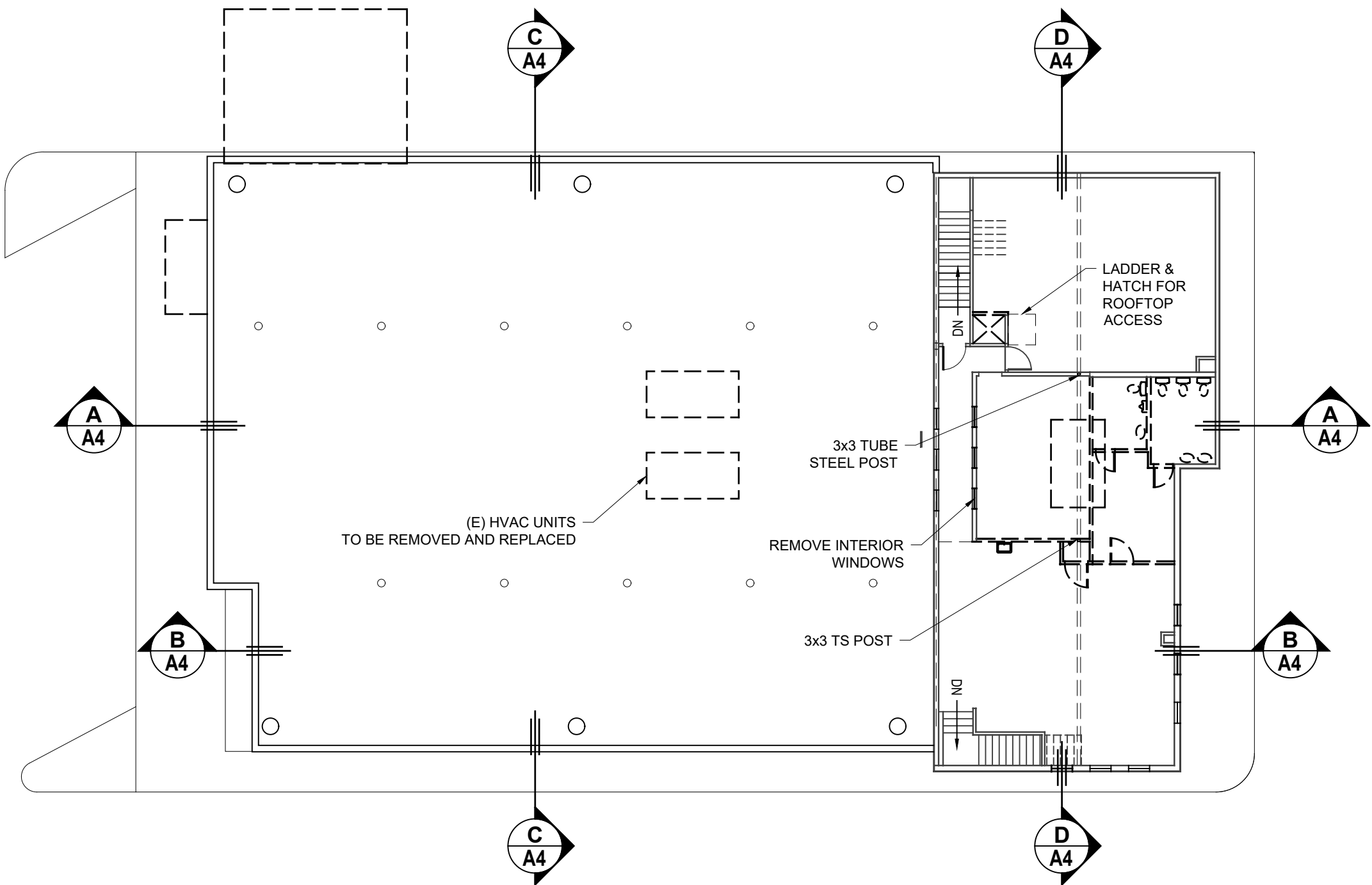
PAPA BEAR'S PIZZA
 228 N. MAIN ST.
 FORT BRAGG, CA 95437

A.P. #008-153-28-00

DATE:	DECEMBER 22, 2023
SCALE:	AS NOTED
DRAWN BY:	KBG
JOB:	POOS
SHEET:	

GROUND FLOOR PLAN

A2



(E) UPPER FLOOR PLAN
SCALE: 1/16" = 1'-0"

LEGEND TO SYMBOLS:

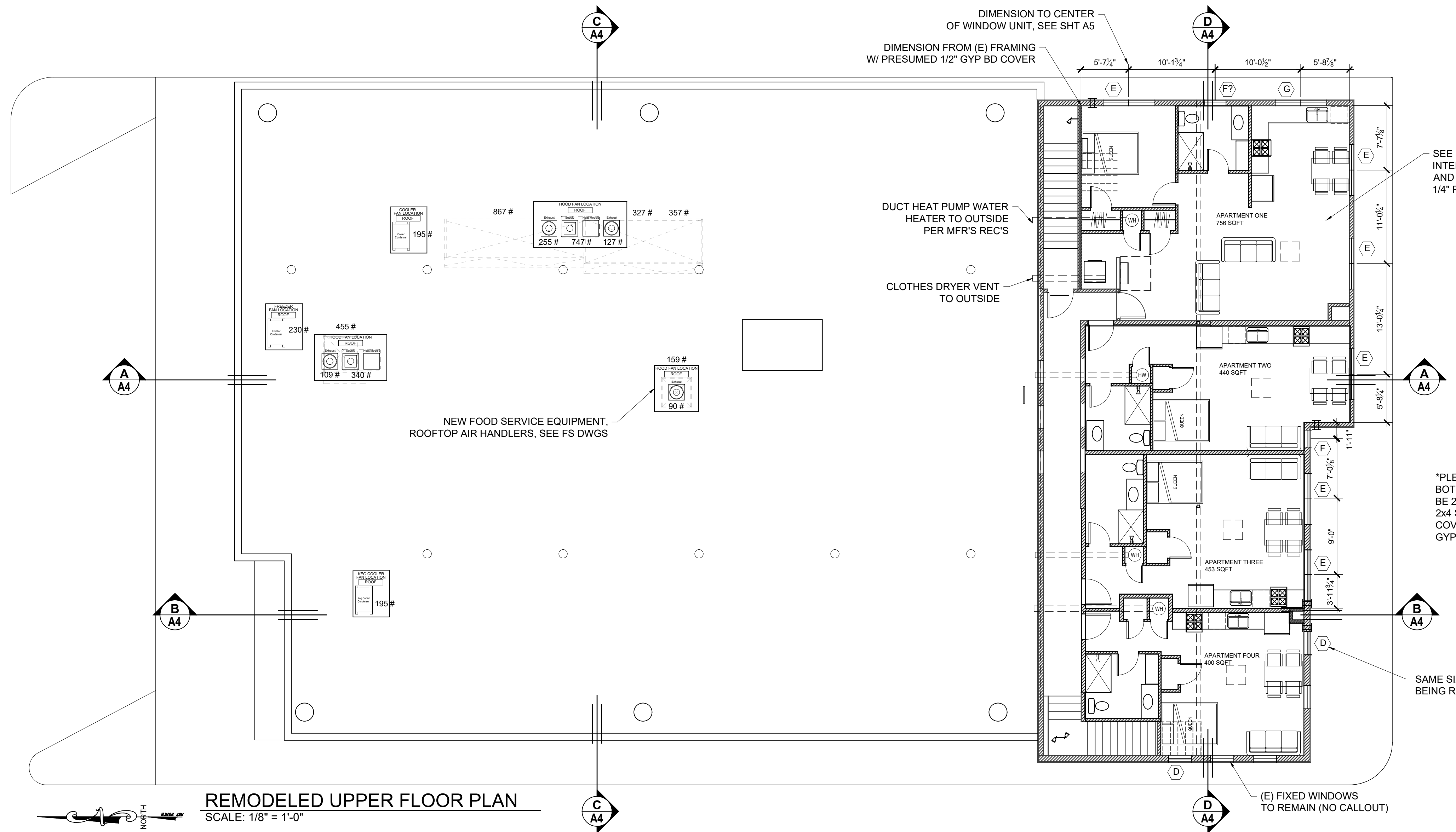
DRAWING TITLE
DRAWING SCALE

- ## A# SECTION CUT DRAWING NUMBER SHEET NUMBER
- ## A# DETAIL DRAWING NUMBER SHEET NUMBER
- # DOOR NUMBER, SEE SCHEDULES, SHT A5
- # WINDOW NUMBER
- # PLUMBING FIXTURE CALL OUT
- # APPLIANCE CALL OUT
- # ELEVATION OF FINISHED GRADE (±0" IS INTERIOR FINISH FLOOR FOR REFERENCE)
- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (N) WALL 2x6 (2x4) W/ 1/2" GYP BD. EA SIDE
- FLOOR SINK. SEE FOOD SERVICE EQUIPMENT DRAWINGS FOR KITCHEN AREA DETAILS

Kelly B. Grimes, Architect
P.O. Box 598
Little River, CA 95456
707-937-2904

REVISIONS	BY

NOTES:



REMODELED UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"

SEE SHEET A2.2 FOR INTERIOR DIMENSIONS AND CALLOUTS AT 1/4" PER FOOT SCALE

PLEASE NOTE BOTH NEW COMMON WALLS SHALL BE 2x6 TOP AND BOTTOM PLATES AND 2x4 STUDS @ 12" OC STAGGER'D. COVER BOTH SIDES W/ 5/8" TYPE X GYP BD.

SAME SIZE AS UNIT BEING REPLACED

(E) FIXED WINDOWS TO REMAIN (NO CALLOUT)

REMODELING PLANS FOR:

PAPA BEAR'S PIZZA
228 N. MAIN ST.
FORT BRAGG, CA 95437

A.P. #119-090-13

DATE: MARCH 20, 2023
SCALE: AS NOTED
DRAWN BY: KBG
JOB: POOS

UPPER FLOOR PLAN

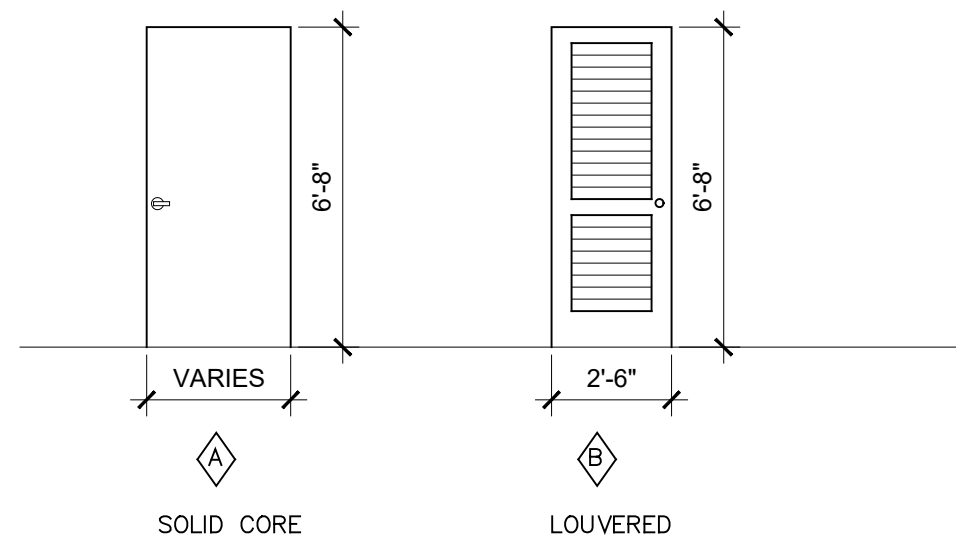
A2.1

OF SHEETS

SECOND FLOOR DOOR SCHEDULE

NUMBER	NOMINAL SIZE			TYPE	MISCELLANEOUS NOTES
	WIDTH	HEIGHT	THICK.		
200	3'-0"	6'-8"	1-3/4"	⬠	SOLID CORE, EXISTING DOOR TO REMAIN
201	3'-0"	6'-8"	1-3/4"	⬠	SOLID CORE INTERIOR WOOD DOOR FRONT DOOR APT. #1
202	2'-0"	6'-8"	1-1/2"	⬠	SOLID CORE INTERIOR WOOD DOOR
203	2'-6"	6'-8"	1-1/2"	⬠	↓ LOUVERED
204	2'-8"	6'-8"	1-1/2"	⬠	↓ LOUVERED
205	2'-6"	6'-8"	1-1/2"	⬠	↓ LOUVERED
206	2'-6"	6'-8"	1-1/2"	⬠	↓ LOUVERED
207	3'-0"	6'-8"	1-3/4"	⬠	SOLID CORE INTERIOR WOOD DOOR FRONT DOOR APT. #2
208	2'-0"	6'-8"	1-1/2"	⬠	SOLID CORE INTERIOR WOOD DOOR
209	2'-6"	6'-8"	1-1/2"	⬠	↓ LOUVERED
210	2'-6"	6'-8"	1-1/2"	⬠	↓ LOUVERED
211	3'-0"	6'-8"	1-3/4"	⬠	SOLID CORE INTERIOR WOOD DOOR FRONT DOOR APT. #3
212	2'-6"	6'-8"	1-1/2"	⬠	SOLID CORE INTERIOR WOOD DOOR
213	2'-0"	6'-8"	1-1/2"	⬠	↓ LOUVERED
214	2'-6"	6'-8"	1-1/2"	⬠	↓ LOUVERED
215	3'-0"	6'-8"	1-3/4"	⬠	SOLID CORE INTERIOR WOOD DOOR FRONT DOOR APT. #4
216	2'-0"	6'-8"	1-1/2"	⬠	SOLID CORE INTERIOR WOOD DOOR LOUVERED
217	2'-0"	6'-8"	1-1/2"	⬠	↓ LOUVERED
218	2'-6"	6'-8"	1-1/2"	⬠	↓ LOUVERED
219	2'-6"	6'-8"	1-1/2"	⬠	↓ LOUVERED

ALL INTERIOR AND WOOD DOORS SHALL BE SIMPSON OR EQUAL.



DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"

APPLIANCES

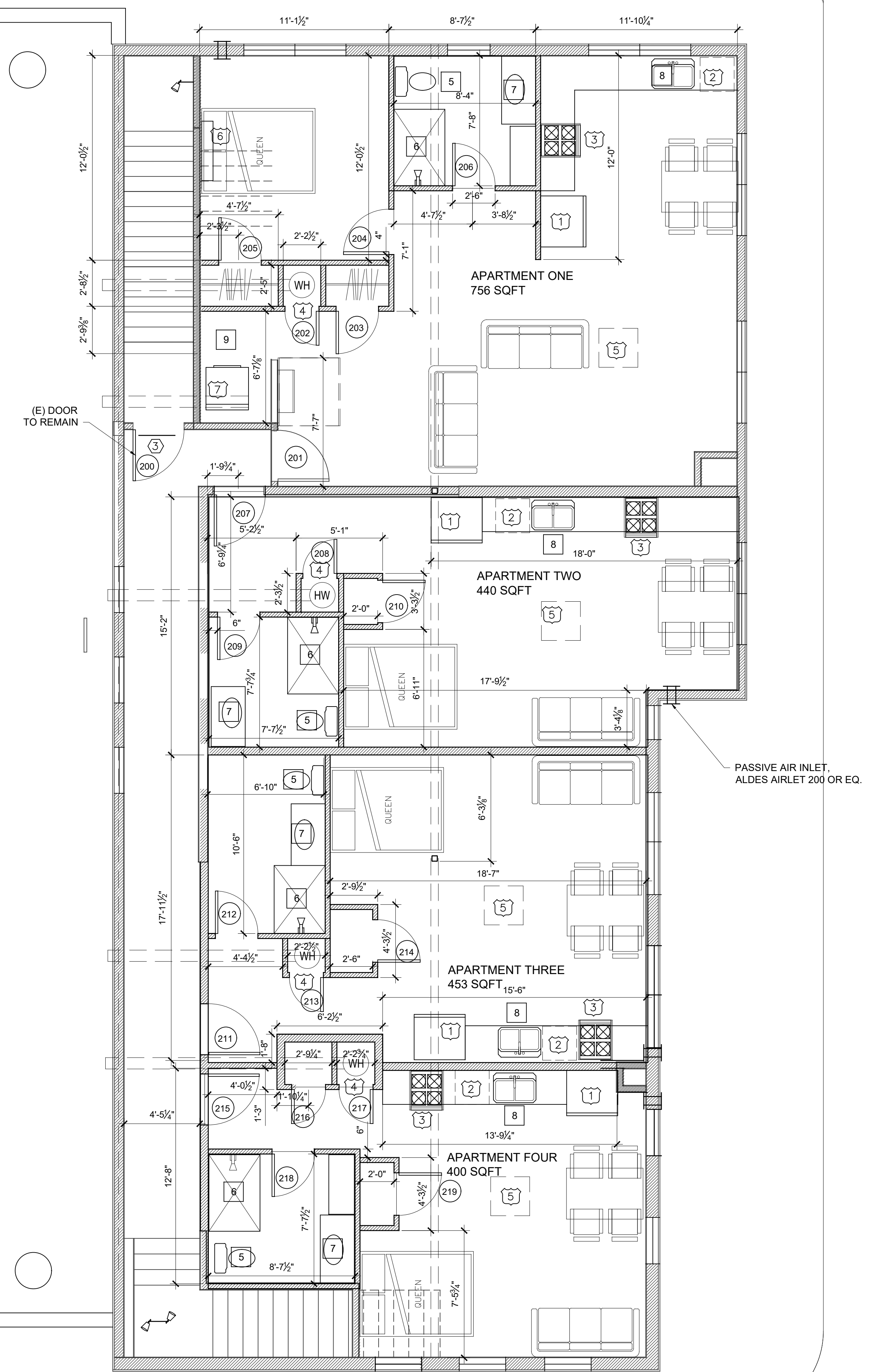
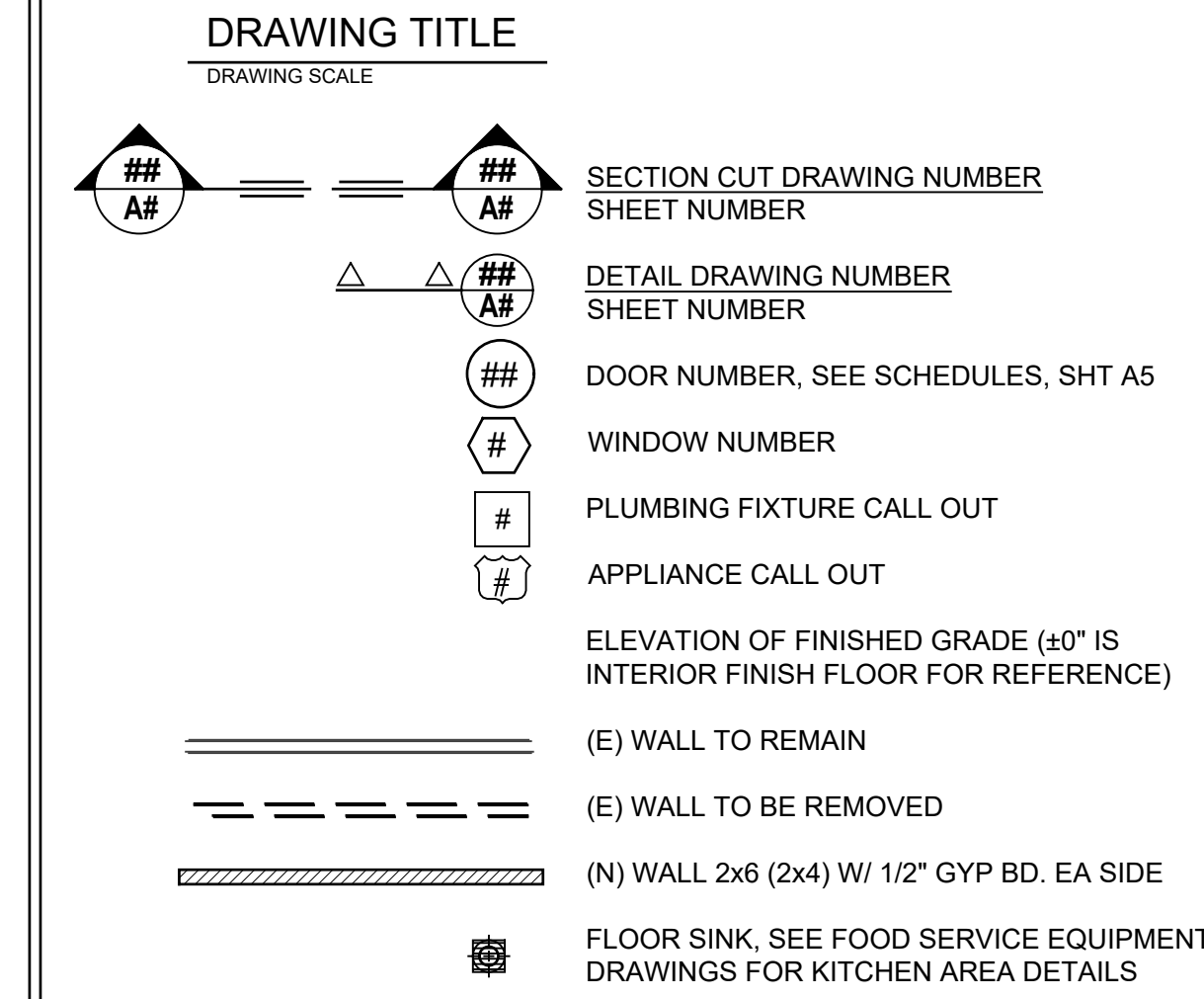
SYMBOL	ITEM	ROOM	MANUFACTURER/MODEL NO.	DIMENSIONS	COLOR	FAUCET/VALVES	MISCELLANEOUS NOTES
1	REFRIGERATOR	APTS 1-4					
2	DISHWASHER	APTS 1-4					
3	COOKSTOVE/OVEN	APTS 1-4					WITH EXHAUST HOOD TO OUTDOORS
4	HEAT PUMP ELECTRIC VOLUME WATER HEATER	APTS 1-4					ELECTRIC CASSETTE IN CEILING OUTDOOR CONDENSER ON ROOF
5	HEAT PUMP UNIT (INSIDE)	APTS 1-4					WALL MOUNT UNIT CONNECT TO SAME OUTDOOR UNIT AS CASSETTE
6	HEAT PUMP IN BEDROOM	APT 1					ELECTRIC
7	CLOTHES DRYER STACKABLE	APT 1					

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS		CEILINGS			REMARKS
			MATERIAL	FINISH	MATERIAL	FINISH	PL. HT.	
APARTMENTS 1-4	VINYL	WOOD	1/2" GYP. BD.	MEDITERRANEAN	5/8" GYP. BD.	MEDITERRANEAN	8'-6"	

REFER TO SHEET FST1 FOR ROOM FINISH SCHEDULE FOR GROUND FLOOR AREAS

LEGEND TO SYMBOLS:



REVISIONS	BY

NOTES:

REMODELING PLANS FOR:

PAPA BEAR'S PIZZA
228 N. MAIN ST.
FORT BRAGG, CA
95437

A.P. #119-090-13

DATE: MARCH 20, 2023

SCALE: AS NOTED

DRAWN BY: KBG

JOB: POOS

SHEET:

ENLARGED UPPER FLOOR PLAN

A2.2

OF SHEETS

REMODELED UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"



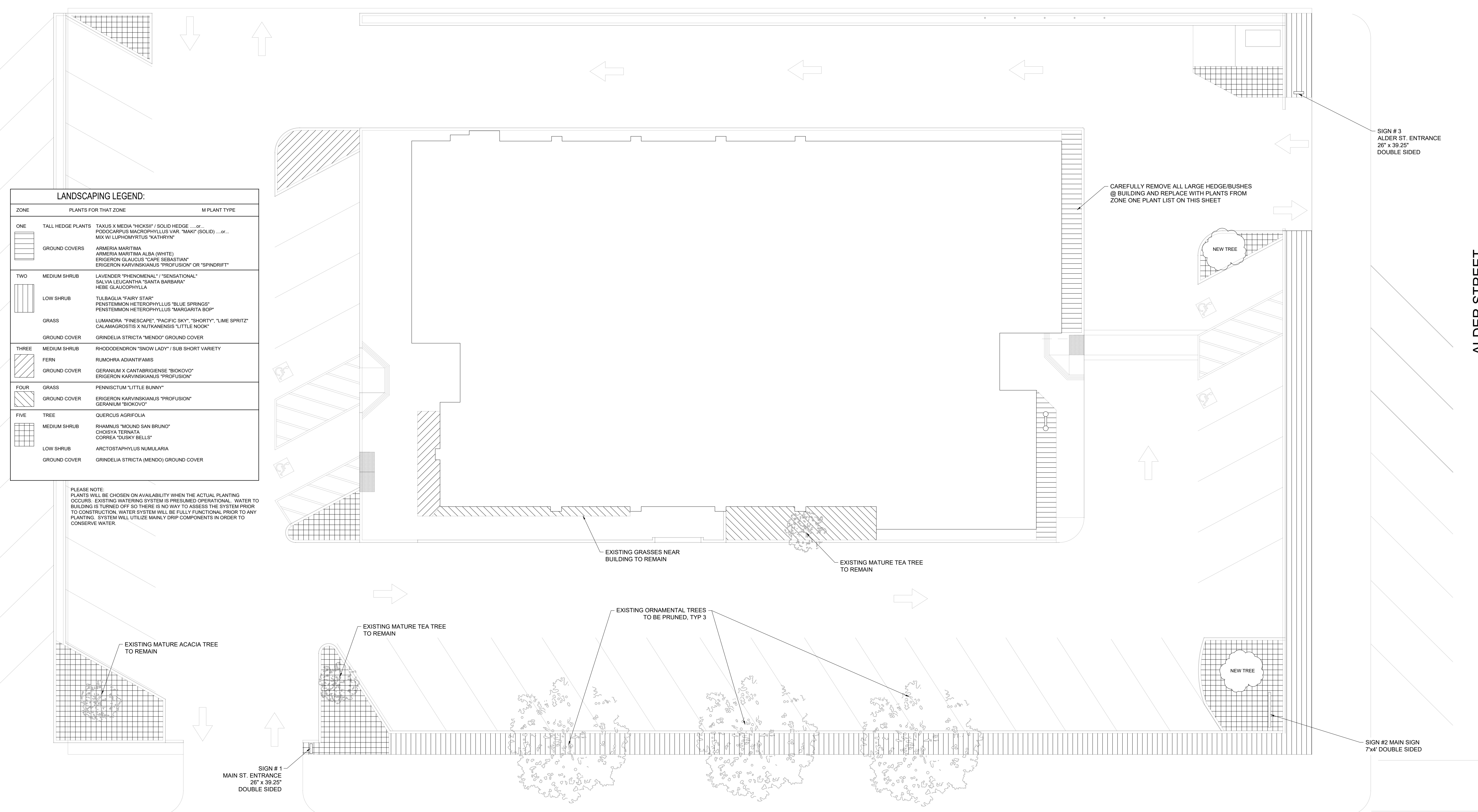
A Remodeled Restaurant for:

Eric and Christina Poos
 Bear's Pizza
 228 N. Main Street
 Fort Bragg, California
 95437 AP# 008-153-28

Kelly B. Grimes, Architect
 P.O. Box 598
 Little River, CA 95456
 707-937-2904

REVISIONS	BY

NOTES:



LANDSCAPING LEGEND:

ZONE	PLANTS FOR THAT ZONE	M PLANT TYPE
ONE	TALL HEDGE PLANTS TAXUS X MEDIA "HICKSIF" / SOLID HEDGE ... PODOCARPUS MACROPHYLLUS VAR. "MACT" (SOLID) ... MIX W/ LUPHOMYRTUS "KATHRYN"	
	GROUND COVERS ARMERIA MARITIMA ARMERIA MARITIMA ALBA (WHITE) ERIGERON GLAUCUS "CAPE SEBASTIAN" ERIGERON KARVINSKIANUS "PROFUSION" OR "SPINDRIFT"	
TWO	MEDIUM SHRUB LAVENDER "PHENOMENAL" / "SENSATIONAL" SALVIA LEUCANTHA "SANTA BARBARA" HEBE GLAUCOPHYLLA	
	LOW SHRUB TULBAGIA "FAIRY STAR" PENSTEMMON HETEROPHYLLUS "BLUE SPRINGS" PENSTEMMON HETEROPHYLLUS "MARGARITA BOP"	
	GRASS LUMANDRA "FINESCAPE", "PACIFIC SKY", "SHORTY", "LIME SPRITZ" CALAMAGROSTIS X NUTKANENSIS "LITTLE NOOK"	
	GROUND COVER GRINDELIA STRICTA "MENDO" GROUND COVER	
THREE	MEDIUM SHRUB RHODODENDRON "SNOW LADY" / SUB SHORT VARIETY	
	FERN RUMOHRA ADIANTIFAMIS	
	GROUND COVER GERANIUM X CANTABRIGIENSE "BIOKOVO" ERIGERON KARVINSKIANUS "PROFUSION"	
	GRASS PENNISCTUM "LITTLE BUNNY"	
FOUR	GROUND COVER ERIGERON KARVINSKIANUS "PROFUSION" GERANIUM "BIOKOVO"	
FIVE	TREE QUERCUS AGRIFOLIA	
	MEDIUM SHRUB RHAMNUS "MOUND SAN BRUNO" CHOISYA TERNAATA CORREA "TUSKY BELLS"	
	LOW SHRUB ARCTOSTAPHYLLUS NUMMULARIA	
	GROUND COVER GRINDELIA STRICTA (MENDO) GROUND COVER	

PLEASE NOTE:
 PLANTS WILL BE CHOSEN ON AVAILABILITY WHEN THE ACTUAL PLANTING OCCURS. EXISTING WATERING SYSTEM IS PRESUMED OPERATIONAL. WATER TO BUILDING IS TURNED OFF SO THERE IS NO WAY TO ASSESS THE SYSTEM PRIOR TO CONSTRUCTION. WATER SYSTEM WILL BE FULLY FUNCTIONAL PRIOR TO ANY PLANTING. SYSTEM WILL UTILIZE MAINLY DRIP COMPONENTS IN ORDER TO CONSERVE WATER.

LANDSCAPING & SIGN PLAN
 SCALE: 1/4" = 1'-0"

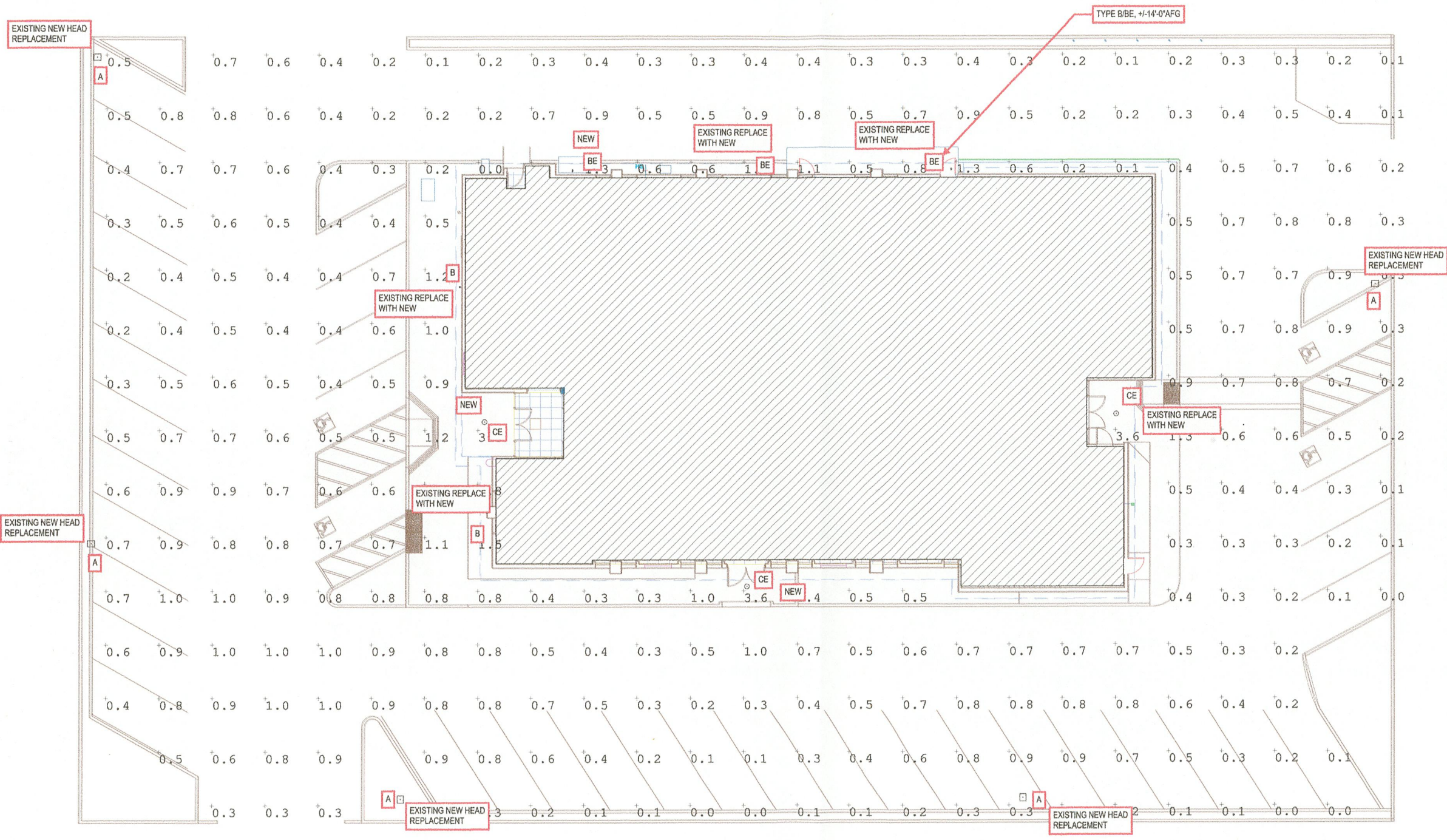
REMODELING PLANS FOR:

PAPA BEAR'S PIZZA
 228 N. MAIN ST.
 FORT BRAGG, CA
 95437

A.P. #008-153-28-00

DATE:	MARCH 20, 2023
SCALE:	AS NOTED
DRAWN BY:	KBG
JOB:	POOS
SHEET:	

LANDSCAPING PLAN



① ELECTRICAL SITE PLAN
 1" = 10'-0"

REVISIONS	BY

NOTES

City of Fort Bragg
 Received
 DEC 2 2023

REMODELING PLANS FOR:

PAPA BEAR'S PIZZA
 228 N. MAIN ST.
 FORT BRAGG, CA
 95437

A.P. #008-153-28-00

DATE	DECEMBER 22, 2023
SCALE	AS NOTED
DRAWN BY	KBG
CHECK	POOS
SHEET	

ELECTRICAL SITE PLAN

E-1
 OF - SHEETS



MERU Series

LED GENERAL & EMERGENCY LIGHTING



PROJECT: _____
 FIXTURE TYPE: _____
 LOCATION: **BA**
 CONTACT/PHONE: _____

PRODUCT DESCRIPTION

The MERU Series is an architectural, low-profile outdoor light, offering “normally On” AC and emergency lighting with powerful LED illumination. The housing is fully sealed and gasketed, and has an IP65 rating. Designed for wall mounting with universal K/O pattern in back-plate for easy installation to most standard size junction boxes. Includes a single 1/2” NPT conduit entry in the top, center of the housing. Illumination provided by 8 high power LEDs which achieve 1,600 lumens in AC and 600 lumens in emergency. LED color at 4000K.

PRODUCT SPECIFICATIONS

CONSTRUCTION
 Die cast aluminum housing with superior heat sink • Scratch resistant Polyester powder coat finish • UV resistant polycarbonate lens • Snap-fit housing and mounting plate are held together by four stainless steel clips • Universal mounting pattern molded into the back plate • 1/2” threaded top access for surface conduit installation • Silicone rubber seal with hollow center, shape adaptive design protects the electrical components • Junction box neoprene seal is attached to the back plate for a weather proof installation • Dark Bronze or White textured finish.

ELECTRICAL
 Dual Voltage 120-277V 60Hz input • Solid state charging and switching • Battery low voltage disconnect • AC power indicator and test switch at the bottom of the unit • Standard with Self Diagnostics to monitor proper operation.

LAMPS
 Supplied with eight (8) LG SMD 4000K LED'S • L70 > 72,000hours • 17 Watts total (32 Watts with IH option) • 1600 Lumens in AC mode, 600 Lumens in Emergency mode • Full cut-off optics for Dark Sky compliance

BATTERY
 Maintenance-free, long-life rechargeable NiCad battery will operate fixture for a minimum of 90 minutes in the event of a power outage • 24 hour recharge after 90 minute discharge.

CODE COMPLIANCE
 UL924 • Listed for wet location applications (0°C-50°C) • Optional "IH" cold weather package for (-40°C-50°C) • IP65 Rated • NFPA 101 Life Safety Code compliant • NEC and OSHA compliant • DLC Listed • RoHS Compliant

WARRANTY
 5-year warranty. Product specifications subject to change without notice.

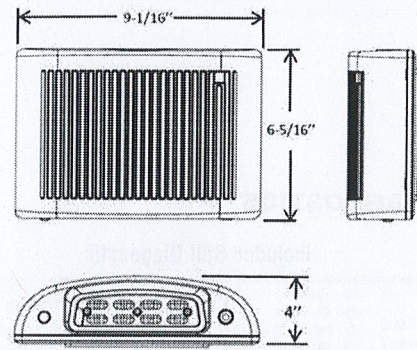
INSTALLATION

MOUNTING
 Suitable for indoor or outdoor wall mounting on junction box, or with surface conduit using the supplied 1/2” threaded top access • Mounting plate has molded universal mounting pattern for simple mounting over junction box.

ORDERING INFORMATION

model	operation mode	housing color	options
MERU-LED	ACEM = General & Emergency Lighting AC = General Lighting	DB = Dark Bronze WH = White BK = Black NK = Nickel	Self-Diagnostics & Photocell (Included Standard) IH = Internal Heater

Ordering Example: MERU-ACEM-DB



ACEM Model (NiCad Battery Backup)

Integral photocell: Unit operates as a dusk to dawn luminaire and in the event of a power failure as an emergency light.
Remote Switched: The integral photocell can be defeated to allow remote switching for normal operation. In the event of a power failure unit operates as an emergency light.

City of Fort Bragg
 Received
 DEC 27 2023





MERU Series

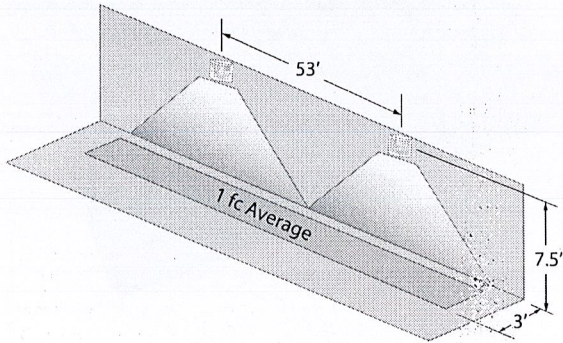
LED GENERAL & EMERGENCY LIGHTING



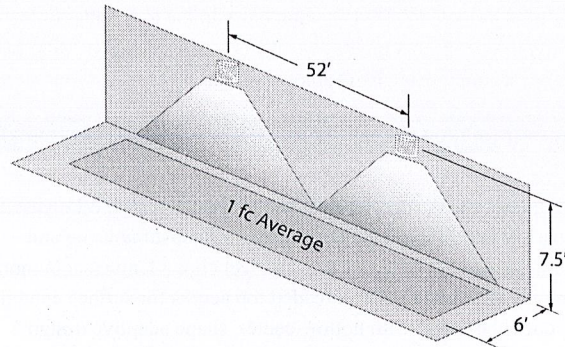
PROJECT: _____
 FIXTURE TYPE: _____
 LOCATION: _____
 CONTACT/PHONE: _____

PHOTOMETRICS

3ft Path Spacing



6ft Path Spacing



SELF DIAGNOSTICS

Included Self Diagnostic

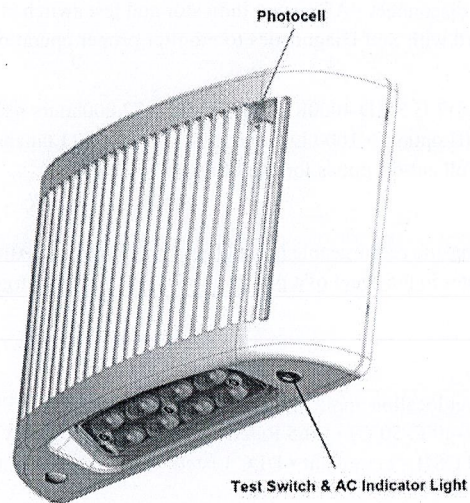
Diagnostic Indicator / Test Switch

- Ready
- In Test
- Battery Circuit Fault
- Battery Capacity Failure
- Charger Failure
- Transformer Fault
- Lamp Failure

Manual Testing

- Press button once - 1 minute test
- Press button twice - 5 minute test
- Press button 3 times - 30 minute test
- Press button 4 times - 90 minute test

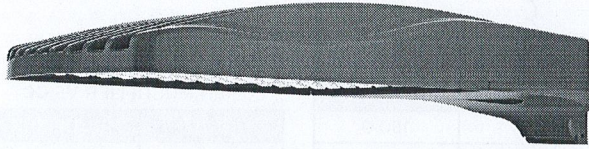
Full self-test, self-diagnostic system is standard in every unit, performs a monthly test as well as continuously monitoring all functions to ensure reliability, a manual test may be initiated at any time



City of Fort Bragg
 Received
 DEC 27 2023

Project Name Type A	Type
Catalog #	Date

VIENTO AREA LUMINARE



APPLICATIONS

- Area Lighting
- Retail Spaces
- Street Lighting
- Auto Dealerships & Sales Lots
- Parks & Recreation Areas
- Safety & Security

APPROVALS

- ETL Listed
- Complies with UL 1598 and CSA C22.2
- Suitable for wet locations
- 3G Vibration Rated
- IP66 Rated
- BAA Compliant
- RoHS Compliant
- ATAL Tested www.ata-labs.com
- Select models DLC Qualified. For a complete list of DLC Qualified products visit: www.xtralight.com/dlc or apl.designlights.org



FEATURES

- Lumen packages ranging from 4000L to 43000L.
- Outstanding photometric performance results in excellent uniformity, optimal pole spacing and lower power density.
- Low profile architectural design offers a contemporary appearance with excellent light output.
- Enhanced foot candles delivered utilizing multiple optical options.

CONSTRUCTION

- Thermal management achieved with a one-piece die-cast aluminum has integral heat sink fins and a hinged electrical compartment with tool less entry.
- Thermoset powder coat, available in bronze, white or custom colors (consult factory)
- IP66, precision molded, polycarbonate optics providing impact resistance and UV stabilization.

ELECTRICAL

- Voltage: 120-277V or 347-480V AC input
- Driver: Class 2, constant current, calibrated to lumen package (0-10V dimming standard)
- Surge Protection: 20kA standard.
- Operating temperature: -40°C to +50°C (-40°F to +122°F)

CONTROLS

- Programmable smart sensor and twist-lock receptacle control options available.

MOUNTING

- Integral arm with key hole slot facilitates quick and easy installation.
- Included nut plate eliminates loose hardware in the pole and reduces installation labor.
- Adjustable slip fitter, round pole adaptor, universal pole adaptor, and other mounting options available as accessories.

WARRANTY

- Backed by XtraLight's limited 5-year warranty.

ORDER LOGIC

SAMPLE CATALOG NUMBER: VNTLEDSO10252MNDIM320XXBZHO

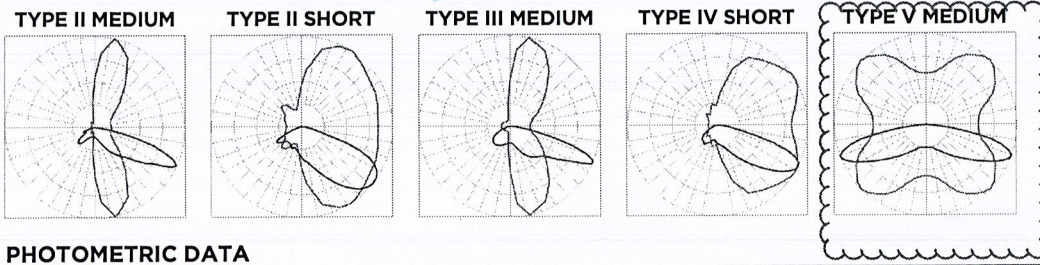
SIZE	MODEL	OPTICS	ORIENTATION	DRIVER	CCT	20 SURGE	CONTROLS	MOUNTING ¹	FINISH	HO	OPTIONS
S01 Small	025	2M Type II	N Normal (forward)	DIM Dim 0-10V, 120-277V	3 3000K	20 20kA Surge	X None	X Standard	BZ Bronze	HO	HS House-side Shield
	052	Medium									
	072	2S Type II	L ¹ Left R ¹ Right	HVD ² Dim 0-10V, 347-480V	4 4000K	5 5000K	7 ³ 7-Pin Twist-Lock	A Adjustable Slip Fitter	WH White	CC ⁵ Custom	
	100	Short									
M02 Medium	100	3M Type III					B Smart Sensor, 20'H/40'D				
	144	Medium									
	200	4S Type IV						D Smart Sensor, 40'H/100'D			
L03 Large	231	5M Type V									
	300	Square Medium									

1. L & R options not available with 5M.
2. 48D not available with 231 model.
3. Photocontrol not included with 7 option. Photocontrol or shorting cap is required for operation.

VIENTO AREA LUMINARE VNTLED

A sign

ISO LINES



PHOTOMETRIC DATA

SIZE	MODEL	CCT	LENS / OPTICS	LUMENS	WATTAGE	EFFICACY
Small	025	5000K	2M	4099	27.3	150.0
			2S	4139	27.3	152.0
			3M	4099	27.3	150.0
			4S	4165	27.3	153.0
			5M	4284	27.3	157.0
	052		2M	7568	52.6	144.0
			2S	7642	52.6	145.0
			3M	7568	52.6	144.0
			4S	7690	52.6	146.0
			5M	7910	52.6	150.0
	072		2M	10779	77.0	140.0
			2S	10885	77.0	141.0
			3M	10779	77.0	140.0
			4S	10954	77.0	142.0
			5M	11267	77.0	146.0
	100		2M	14318	106.5	134.0
			2S	14459	106.3	136.0
			3M	14318	106.4	135.0
			4S	14550	106.3	137.0
			5M	14966	106.4	141.0
Medium	100	5000K	2M	15274	103.7	147.0
			2S	15366	103.7	148.0
			3M	15083	103.7	145.0
			4S	15313	103.7	148.0
			5M	15806	103.7	152.0
	144		2M	21697	153.8	141.0
			2S	21827	153.8	142.0
			3M	21424	153.8	139.0
			4S	21752	153.8	141.0
			5M	22452	153.8	146.0
	200		2M	28503	211.4	135.0
			2S	28674	211.4	136.0
			3M	28145	211.4	133.0
			4S	28575	211.4	135.0
			5M	29495	211.4	140.0

LUMEN MULTIPLIER VS CCT

CCT	MULTIPLIER
3000K	0.89
4000K	0.98
5000K	1.0

VIENTO AREA LUMINARE VNTLED

PHOTOMETRIC DATA

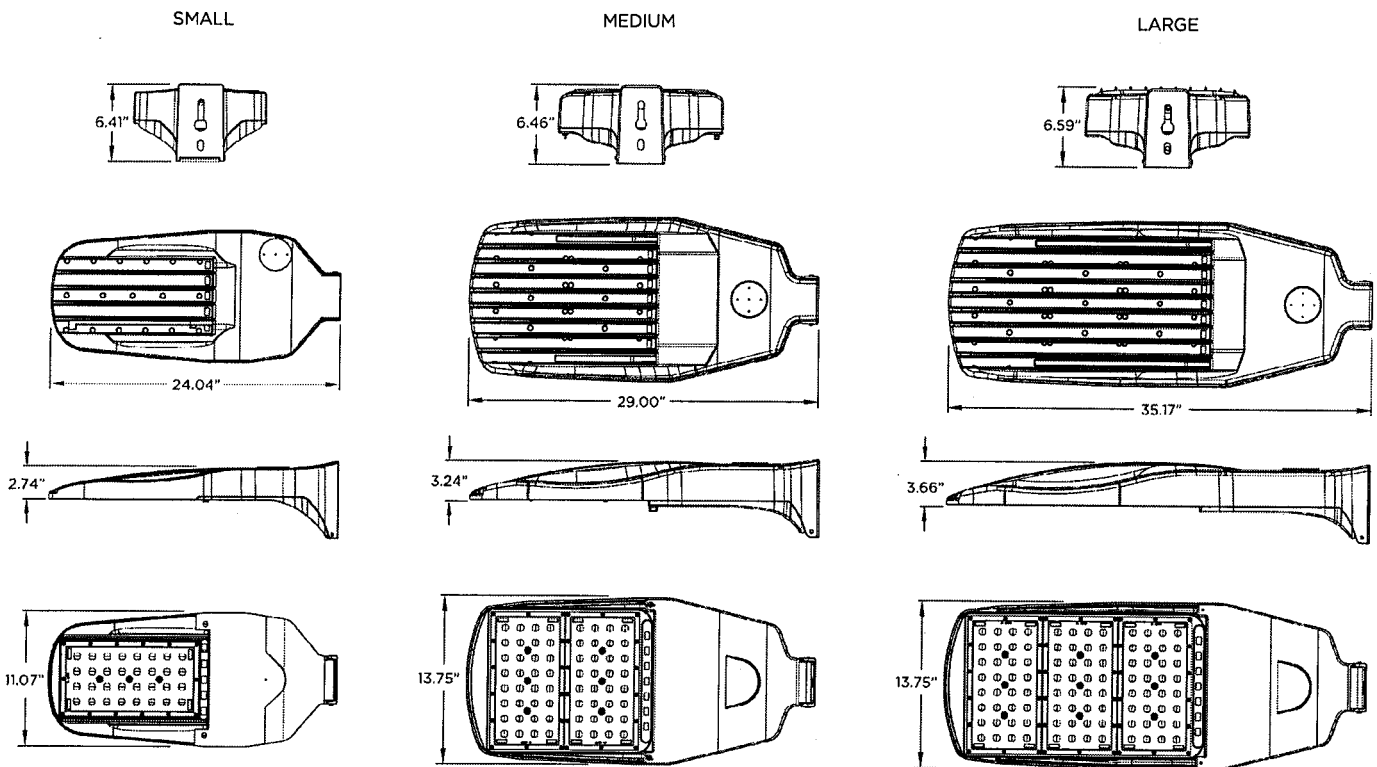
SIZE	MODEL	CCT	LENS / OPTICS	LUMENS	WATTAGE	EFFICACY
Large	231	5000K	2M	35177	246.1	143.0
			2S	35431	246.1	144.0
			3M	34922	246.1	142.0
			4S	35570	246.1	145.0
			5M	35852	246.1	146.0
	300		2M	41340	323.4	128.0
			2S	41638	323.4	129.0
			3M	41040	323.4	127.0
			4S	41719	323.4	129.0
			5M	43505	323.7	134.0

CCT	MULTIPLIER
3000K	0.89
4000K	0.98
5000K	1.0

DIMENSIONAL DATA

STANDARD SIZES

WEIGHT:
Small = 11 LB
Medium = 29 LB
Large = 39 LB

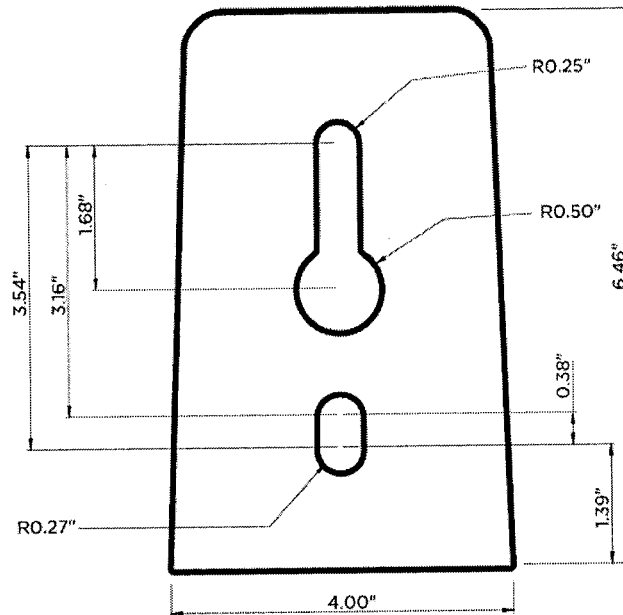


- Dimensional Data shows the end, top, side, and bottom views for all standard sizes.
- All weights are rounded up to the nearest 0.5 lb.





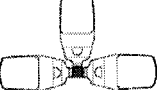

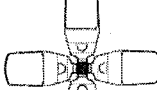
VIENTO AREA LUMINARE VNTLED

MOUNTING

STANDARD MOUNTING


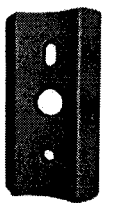
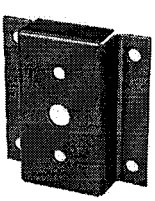
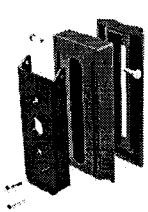
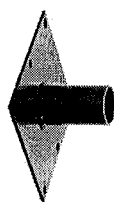
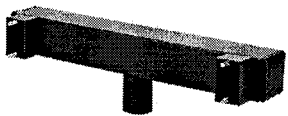
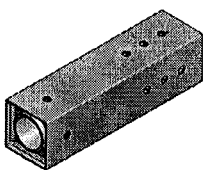


EPA RATINGS

	SINGLE	DUAL SSA	TWO AT 90	TWO AT 180	THREE AT 90	THREE AT 120	FOUR AT 90
							
SMALL	0.68 sq. ft.	0.68 sq. ft.	1.02 sq. ft.	1.36 sq. ft.	1.7 sq. ft.	1.45 sq. ft.	1.7 sq. ft.
MEDIUM	1.47 sq. ft.	1.75 sq. ft.	2.21 sq. ft.	2.95 sq. ft.	3.68 sq. ft.	3.16 sq. ft.	3.68 sq. ft.
LARGE	1.79 sq. ft.	2.069 sq. ft.	2.68 sq. ft.	3.59 sq. ft.	4.47 sq. ft.	3.84 sq. ft.	4.47 sq. ft.

VIENTO AREA LUMINARE VNTLED

ACCESSORIES (SOLD SEPARATELY)

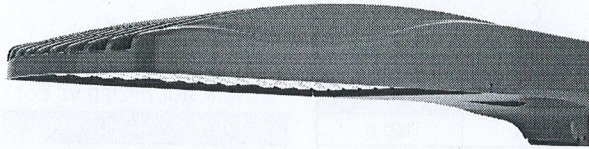
VNT-ASF	FINISH			DESCRIPTION		
	BZ Bronze WH White			<ul style="list-style-type: none"> Adjustable Slip Fitter Must select (A) in the order logic under the Mounting section. 180° range of motion in 10° increments. EPA: 0.127 sq. ft. - 6.0 LB 		
VNT-RPA	FINISH			DESCRIPTION		
	BZ Bronze WH White			<ul style="list-style-type: none"> Round Pole Adaptor Allows up to four Viento fixtures to be mounted to one pole. 3" to 5" Diameter EPA: 0.03 sq. ft. - 0.75 LB 		
VNT-WB	FINISH			DESCRIPTION		
	BZ Bronze WH White			<ul style="list-style-type: none"> Wall Bracket 		
VNT-UPM	POLE	FINISH		DESCRIPTION		
	SQ Square RD Round	BZ Bronze WH White		<ul style="list-style-type: none"> Universal Pole Mount Adaptor 		
VNT-TWB	FINISH			DESCRIPTION		
	BZ Bronze WH White			<ul style="list-style-type: none"> Tenon Wall Bracket Horizontal Mount 8" Square Plate - 2 3/8" OD Must be ordered with the Adjustable Slip Fitter (ASF) accessory. 		
VNT-SSA	FINISH			DESCRIPTION		
	BZ Bronze WH White			<ul style="list-style-type: none"> Shoulder-to-Shoulder Adaptor EPA: 0.90 sq. ft. - 27 LB 		
VNT-TMA	POLE	FINISH	SIZE	MOUNTING	DESCRIPTION	
	S Square R Round	BZ Bronze WH White	4 4" 5 5" 6 6"	01 1 Fixture 28 2 Fixtures at 180° 29 2 Fixtures at 90° 39 3 Fixtures at 90° 32 3 Fixtures at 180° 49 4 Fixtures at 90°	<ul style="list-style-type: none"> Tenon Mount Adaptor Dimensions (S): 4"/5"/6" Dimensions (R): 4"/5" DIA EPA: 0.4 sq. ft. 10 - 16 LB VNT-TMAR includes Round Pole Adaptor (VNT-RPA) depending on mounting count. 	

PROJECT INFORMATION

Project Name	Type
Catalog #	Date

Type A-1

VIENTO AREA LUMINARE



APPLICATIONS

- Area Lighting
- Retail Spaces
- Street Lighting
- Auto Dealerships & Sales Lots
- Parks & Recreation Areas
- Safety & Security

APPROVALS

- ETL Listed
- Complies with UL 1598 and CSA C22.2
- Suitable for wet locations
- 3G Vibration Rated
- IP66 Rated
- BAA Compliant
- RoHS Compliant
- ATAL Tested www.ata-labs.com
- Select models DLC Qualified. For a complete list of DLC Qualified products visit: www.xtralight.com/dlc or qpl.designlights.org



FEATURES

- Lumen packages ranging from 4000L to 43000L.
- Outstanding photometric performance results in excellent uniformity, optimal pole spacing and lower power density.
- Low profile architectural design offers a contemporary appearance with excellent light output.
- Enhanced foot candles delivered utilizing multiple optical options.

CONSTRUCTION

- Thermal management achieved with a one-piece die-cast aluminum has integral heat sink fins and a hinged electrical compartment with tool less entry.
- Thermoset powder coat, available in bronze, white or custom colors (consult factory)
- IP66, precision molded, polycarbonate optics providing impact resistance and UV stabilization.

ELECTRICAL

- Voltage: 120-277V or 347-480V AC input
- Driver: Class 2, constant current, calibrated to lumen package (0-10V dimming standard)
- Surge Protection: 20kA standard.
- Operating temperature: -40°C to +50°C (-40°F to +122°F)

CONTROLS

- Programmable smart sensor and twist-lock receptacle control options available.

MOUNTING

- Integral arm with key hole slot facilitates quick and easy installation.
- Included nut plate eliminates loose hardware in the pole and reduces installation labor.
- Adjustable slip fitter, round pole adaptor, universal pole adaptor, and other mounting options available as accessories.

WARRANTY

- Backed by XtraLight's limited 5-year warranty.

ORDER LOGIC

SAMPLE CATALOG NUMBER: VNTLEDSO10252MNDIM320XXBZHO

SIZE	MODEL	OPTICS	ORIENTATION	DRIVER	CCT	20	20	CONTROLS	MOUNTING ⁴	FINISH	HIGH OUTPUT	OPTIONS
S01 Small	025	2M Type II	N Normal (forward) L ¹ Left R ¹ Right	DIM Dim 0-10V, 120-277V HVD ² Dim 0-10V, 347-480V	3 3000K 4 4000K 5 5000K	20	20kA Surge	X None	X Standard A Adjustable Slip Fitter	BZ Bronze WH White CC ⁵ Custom	HO	HS House-side Shield
	052	Medium						7 ³ 7-Pin				
	072	2S Type II Short						B Smart Sensor, 20'H/40'D D Smart Sensor, 40'H/100'D				
M02 Medium	100	3M Type III Medium										
	144	4S Type IV Short										
L03 Large	231	5M Type V Square										
	300	Medium										

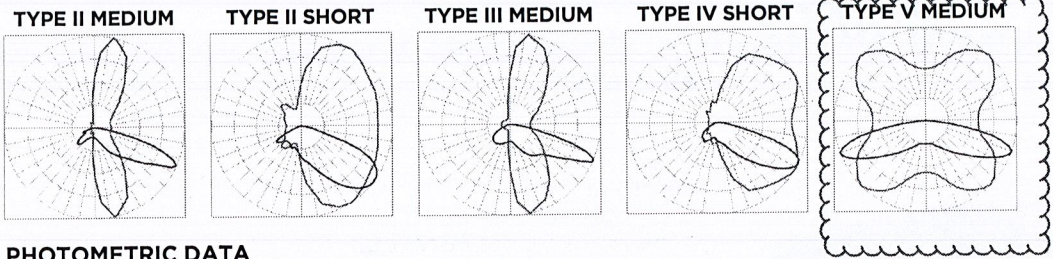
1. L & R options not available with 5M.
2. 48D not available with 231 model.
3. Photocontrol not included with 7 option. Photocontrol or shorting cap is required for operation.

VIENTO AREA LUMINARE

VNTLED

1.4 3.9 4.1

ISO LINES



PHOTOMETRIC DATA

SIZE	MODEL	CCT	LENS / OPTICS	LUMENS	WATTAGE	EFFICACY
Small	025	5000K	2M	4099	27.3	150.0
			2S	4139	27.3	152.0
			3M	4099	27.3	150.0
			4S	4165	27.3	153.0
			5M	4284	27.3	157.0
	052		2M	7568	52.6	144.0
			2S	7642	52.6	145.0
			3M	7568	52.6	144.0
			4S	7690	52.6	146.0
			5M	7910	52.6	150.0
	072		2M	10779	77.0	140.0
			2S	10885	77.0	141.0
			3M	10779	77.0	140.0
			4S	10954	77.0	142.0
			5M	11267	77.0	146.0
	100		2M	14318	106.5	134.0
			2S	14459	106.3	136.0
			3M	14318	106.4	135.0
			4S	14550	106.3	137.0
			5M	14966	106.4	141.0
Medium	100	5000K	2M	15274	103.7	147.0
			2S	15366	103.7	148.0
			3M	15083	103.7	145.0
			4S	15313	103.7	148.0
			5M	15806	103.7	152.0
	144		2M	21697	153.8	141.0
			2S	21827	153.8	142.0
			3M	21424	153.8	139.0
			4S	21752	153.8	141.0
			5M	22452	153.8	146.0
	200		2M	28503	211.4	135.0
			2S	28674	211.4	136.0
			3M	28145	211.4	133.0
			4S	28575	211.4	135.0
			5M	29495	211.4	140.0

LUMEN MULTIPLIER VS CCT

CCT	MULTIPLIER
3000K	0.89
4000K	0.98
5000K	1.0

VIENTO AREA LUMINARE VNTLED

PHOTOMETRIC DATA

SIZE	MODEL	CCT	LENS / OPTICS	LUMENS	WATTAGE	EFFICACY
Large	231	5000K	2M	35177	246.1	143.0
			2S	35431	246.1	144.0
			3M	34922	246.1	142.0
			4S	35570	246.1	145.0
			5M	35852	246.1	146.0
	300		2M	41340	323.4	128.0
			2S	41638	323.4	129.0
			3M	41040	323.4	127.0
			4S	41719	323.4	129.0
			5M	43505	323.7	134.0

CCT	MULTIPLIER
3000K	0.89
4000K	0.98
5000K	1.0

DIMENSIONAL DATA

STANDARD SIZES

WEIGHT:

Small = 11 LB

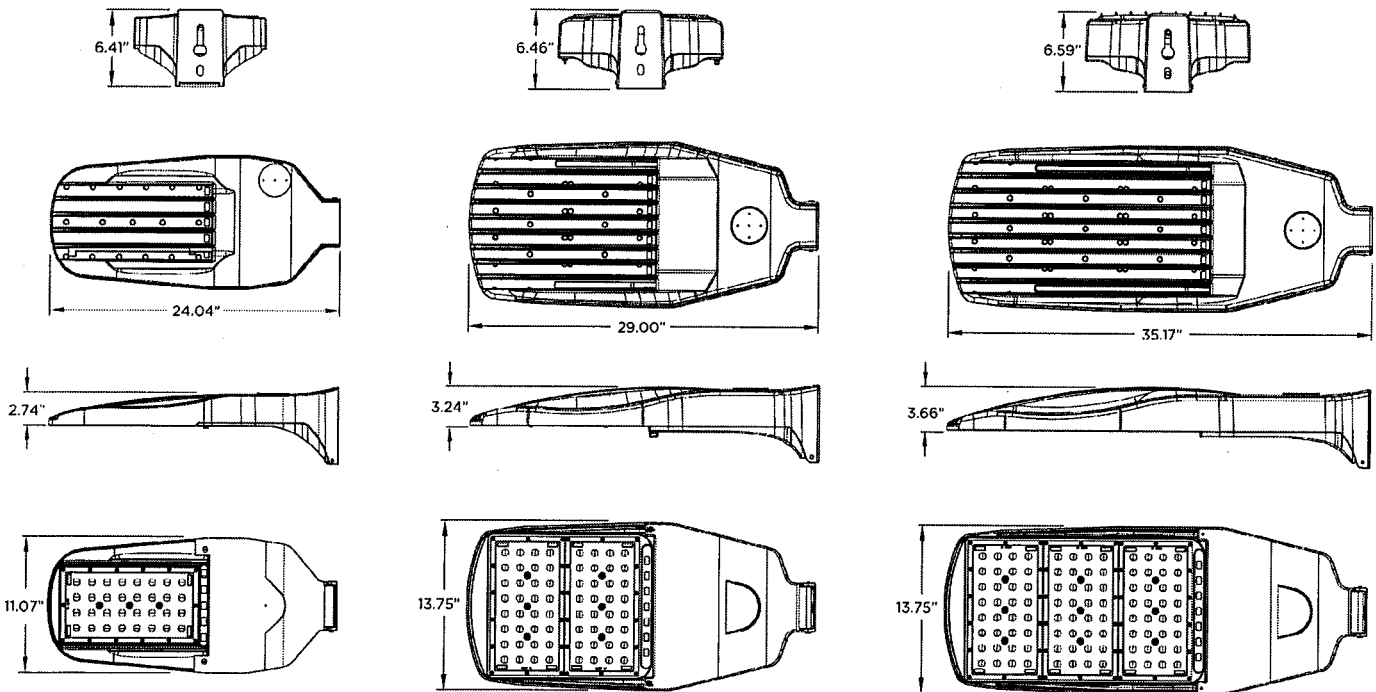
Medium = 29 LB

Large = 39 LB

SMALL

MEDIUM

LARGE

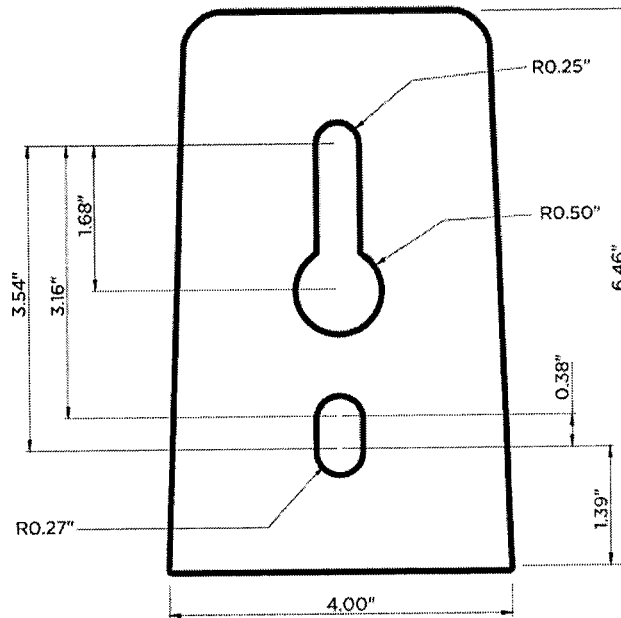


- Dimensional Data shows the end, top, side, and bottom views for all standard sizes.
- All weights are rounded up to the nearest 0.5 lb.


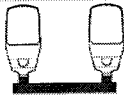
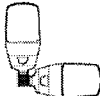

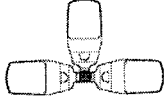
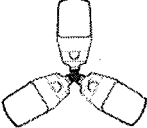
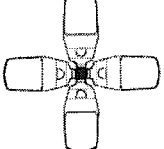
VIENTO AREA LUMINARE VNTLED

MOUNTING

STANDARD MOUNTING



EPA RATINGS

	SINGLE	DUAL SSA	TWO AT 90	TWO AT 180	THREE AT 90	THREE AT 120	FOUR AT 90
							
SMALL	0.68 sq. ft.	0.68 sq. ft.	1.02 sq. ft.	1.36 sq. ft.	1.7 sq. ft.	1.45 sq. ft.	1.7 sq. ft.
MEDIUM	1.47 sq. ft.	1.75 sq. ft.	2.21 sq. ft.	2.95 sq. ft.	3.68 sq. ft.	3.16 sq. ft.	3.68 sq. ft.
LARGE	1.79 sq. ft.	2.069 sq. ft.	2.68 sq. ft.	3.59 sq. ft.	4.47 sq. ft.	3.84 sq. ft.	4.47 sq. ft.

VIENTO AREA LUMINARE VNTLED

ACCESSORIES (SOLD SEPARATELY)

VNT-ASF

FINISH

BZ Bronze
WH White

DESCRIPTION

- Adjustable Slip Fitter
- Must select (A) in the order logic under the Mounting section.
- 180° range of motion in 10° increments.
- EPA: 0.127 sq. ft. - 6.0 LB



VNT-RPA

FINISH

BZ Bronze
WH White

DESCRIPTION

- Round Pole Adaptor
- Allows up to four Viento fixtures to be mounted to one pole.
- 3" to 5" Diameter
- EPA: 0.03 sq. ft. - 0.75 LB



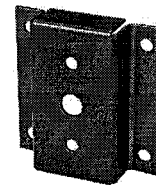
VNT-WB

FINISH

BZ Bronze
WH White

DESCRIPTION

- Wall Bracket



VNT-UPM

<input type="text"/>	<input type="text"/>
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POLE

SQ Square
RD Round

FINISH

BZ Bronze
WH White

DESCRIPTION

- Universal Pole Mount Adaptor



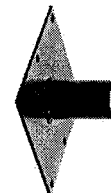
VNT-TWB

FINISH

BZ Bronze
WH White

DESCRIPTION

- Tenon Wall Bracket Horizontal Mount
- 8" Square Plate - 2 3/8" OD
- Must be ordered with the Adjustable Slip Fitter (ASF) accessory.



VNT-SSA

FINISH

BZ Bronze
WH White

DESCRIPTION

- Sholder-to-Sholder Adaptor
- EPA: 0.90 sq. ft. - 27 LB



VNT-TMA

<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
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POLE

S Square
R Round

FINISH

BZ Bronze
WH White

SIZE

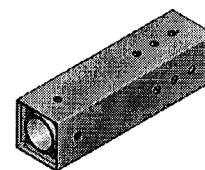
4 4"
5 5"
6 6"

MOUNTING

01 1 Fixture
28 2 Fixtures at 180°
29 2 Fixtures at 90°
39 3 Fixtures at 90°
32 3 Fixtures at 180°
49 4 Fixtures at 90°

DESCRIPTION

- Tenon Mount Adaptor
- Dimensions (S): 4"/5"/6"
- Dimensions (R): 4"/5" DIA
- EPA: 0.4 sq. ft. 10 - 16 LB
- VNT-TMAR includes Round Pole Adaptor (VNT-RPA) depending on mounting count.



Catalog Number
Notes Type CE
Type

FEATURES & SPECIFICATIONS

INTENDED USE — The OLCFM provides years of maintenance-free general illumination for residential and commercial outdoor applications such as porches, covered walkways and store entrances.

CONSTRUCTION — Rugged cast-aluminum top-plate and outer-ring are protected by a thermostat powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

Polycarbonate LED lens/cover protects LEDs.

Fixture weight = 2.98 lbs.

OPTICS — 96 high-performance LEDs produces up to 1077 lumens and maintain 70% of light output at 50,000 hours of service.

(LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.)

White acrylic diffuser provides a soft white light at 4000K CCT

See Lighting Facts Labels for specific fixture performance.

ELECTRICAL — Fixture operates at 120 volts, 60 Hz.

Standard input = 16.6 watts

Operating temperature -40°C to 40°C.

Amps @ 120V = .131.

Surge protection = 2.5kV.

INSTALLATION — Mounts easily to existing junction box (by others).

LISTINGS — UL Listed to U.S. and Canadian safety standards for wet locations.

Designed for ceiling or wall mounting more than 4' above the ground.

Tested in accordance with IESNA LM-79 and LM-80 standards.

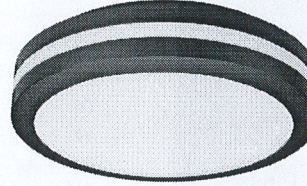
WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.



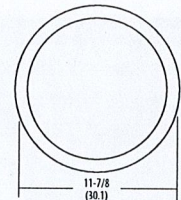
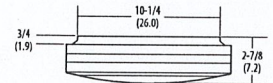
CONTRACTOR TO PROVIDE WITH INTEGRAL CEC COMPLIANT EMERGENCY BATTERY BACKUP

All dimensions are inches (centimeters) unless otherwise indicated.

Outdoor General Purpose

OLCFM

OUTDOOR LED CAST FLUSH MOUNT



ORDERING INFORMATION

All configurations of this product are considered "standard" and have short lead times.

Example: OLCFM 15 DDB

OLCFM	Light Engine	Color Temperature (CCT) ¹	Voltage	Finish
OLCFM	15	(blank) 4000K	(blank) 120V	DDB Dark bronze

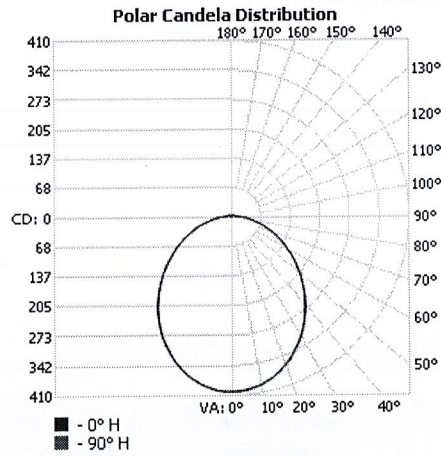
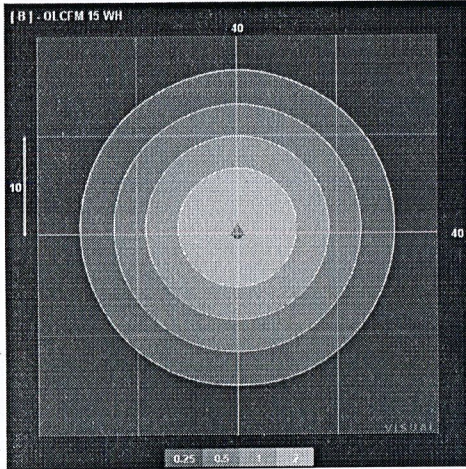
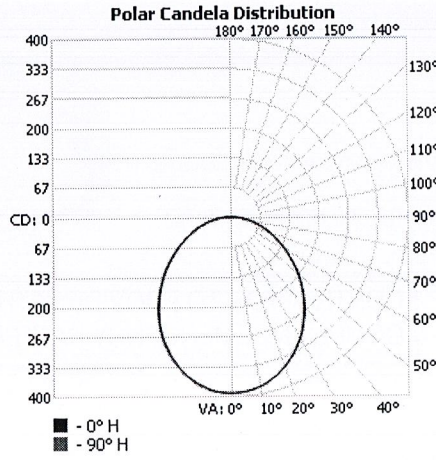
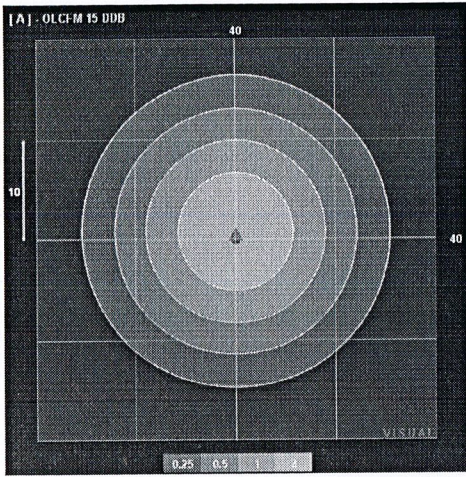
Notes

1 Nominal Correlated Color Temperature (CCT) per ANSI C78.377-2008.

OLCFM Outdoor LED Cast Flush Mount

PHOTOMETRIC DIAGRAMS

To see complete photometric reports or download .ies files for this product, visit www.Lithonia.com. Tested in accordance with IESNA LM79 and LM80 standards.



Bear's Pizza & More



formerly
Vinny's
PIZZA



Main Sign / Corner of Main and Alder / 7' x 4' / double sided



2 HR CUSTOMER PARKING ONLY

VIOLATORS WILL BE TOWED

Bear's



Pizza & More



Main Street Entrance / 26" x 39.25" / double sided



Alder Street Entrance / 26" x 39.25" / double sided

RESOLUTION NO. PC -2024

RESOLUTION OF THE FORT BRAGG PLANNING COMMISSION APPROVING USE PERMIT 2-23 (UP 2-23), DESIGN REVIEW 3-23 (UP 3-23), SIGN PERMIT 8-23 (SP 8-23) FOR A MIXED-USE PROJECT AT 228 N. MAIN ST.

WHEREAS, Christine Poos (“Applicant”), submitted Use Permit 2-23, Design Review 3-23, and Sign Permit 8-23 applications requesting to convert an existing commercial building to the following mix of uses: Restaurant with arcade, General Retail, and four Multi-Family Dwelling Units; and

WHEREAS, 228 N. Main St., Fort Bragg, California (Assessor Parcel Numbers: 018-153-28) is in the Central Business District (CBD), Inland Zone and no changes to the site’s current zoning designation are proposed; and

WHEREAS, the Project is subject to the Fort Bragg Inland General Plan and Inland Land Use and Development Code (ILUDC); and

WHEREAS, the Project is exempt from CEQA under 15301 Class 1 Existing Facilities; and

WHEREAS, the Planning Commission held a duly noticed public hearing on February 14, 2024, to consider the Project and accept public testimony;

NOW, THEREFORE, BE IT RESOLVED that the City of Fort Bragg Planning Commission, based on the entirety of the record before it, which includes without limitation, CEQA, Public Resources Code §21000, et seq. and the CEQA Guidelines, 14 California Code of Regulations §15000, et seq.; the Fort Bragg Inland General Plan; the Fort Bragg Inland Land Use and Development Code; the Project applications; all site plans, the Staff Report and all reports and public testimony submitted as part of the Planning Commission meeting of February 14, 2024 and Planning Commission deliberations; and any other evidence (within the meaning of Public Resources Code §21080(e) and §21082.2), the Planning Commission of the City of Fort Bragg does hereby adopt the following findings and determinations.

Approval of Use Permit 2-23 to allow the operation of the Mixed-Use Building at 228 N. Main St, Fort Bragg, based on the following findings and determinations from ILUDC 18.71.060(F) Use Permit:

1. The proposed use is consistent with the General Plan and any applicable specific plan; and
2. The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of this Development Code and the Municipal Code; and
3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and future land uses in the vicinity; and
4. The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities (e.g., fire protection, police protection, potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.), to ensure that the

type, density, and intensity of use being proposed would not endanger, jeopardize, or otherwise constitute a hazard to the public interest, health, safety, convenience, or welfare, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zoning district in which the property is located; and

5. The proposed use complies with any findings required by § 18.22.030 (Commercial District Land Uses and Permit Requirements); and

The use complements the local, regional and tourist-serving retail, office and services functions of the CBD, and will not detract from this basic purpose of the CBD. Uses proposed for the intense pedestrian-oriented retail shopping areas of the CBD, which include the 100 blocks of East and West Laurel Street, the 300 block of North Franklin Street*, and the 100 and 200 blocks of Redwood Avenue, shall be limited to pedestrian-oriented uses on the street-fronting portion of the building.

6. The proposed use complies with the Specific Land Use Standards for Mixed Use Development in Section 18.42.100.

Approval of Design Review 3-23 to allow minor exterior changes to the building at 228 N. Main St, Fort Bragg, based on the following findings and determinations from ILUDC 18.71.050(F) - Design Review:

1. Complies with the purpose and requirements of this Section; and
2. Provides architectural design, building massing, and scale appropriate to and compatible with the site surroundings and the community; and
3. Provides attractive and desirable site layout and design, including building arrangement, exterior appearance and setbacks, drainage, fences and walls, grading, landscaping, lighting, signs, etc.; and
4. Provides efficient and safe public access, circulation, and parking; and
5. Provides appropriate open space and landscaping, including the use of water efficient landscaping; and
6. Is consistent with the General Plan, any applicable specific plan; and
7. Complies and is consistent with the City's Design Guidelines.

Approval of Sign Permit 8-23 to install three signs at 228 N. Main St, Fort Bragg, based on the following findings and determinations from ILUDC 18.38.030(D) - Sign Permit Findings for Approval:

1. The proposed signs do not exceed the standards of §§ [18.38.070](#) (Zoning District Sign Standards) and [18.38.080](#) (Standards for Specific Sign Types), and are of the minimum size and height necessary to enable pedestrians and motorists to readily identify the facility or site from a sufficient distance to safely and conveniently access the facility or site; and
2. That the placement of the sign on the site is appropriate for the height and area of a freestanding or projecting sign; and

3. That a flush or projecting sign relates to the architectural design of the structure. Signs that cover windows, or that spill over natural boundaries, and/or cover architectural features shall be discouraged; and
4. The proposed signs do not unreasonably block the sight lines of existing signs on adjacent properties; and
5. The placement and size of the sign will not impair pedestrian or vehicular safety; and
6. The design, height, location, and size of the signs are visually complementary and compatible with the scale and architectural style of the primary structures on the site, any prominent natural features on the site, and structures and prominent natural features on adjacent properties on the same street; and
7. The proposed signs are in substantial conformance with the design criteria in § [18.38.060](#)(E) (Design criteria for signs) and the Citywide Design Guidelines for signs.

The Mixed-Use Project is also subject to the following general findings and determinations, based on analysis and testimony presented at the February 14, 2024 hearing, incorporated herein:

1. The foregoing recitals are true and correct and made a part of this Resolution; and
2. The documents and other material constituting the record for these proceedings are located at the Community Development Department.

BE IT FURTHER RESOLVED that the Fort Bragg Planning Commission does hereby approve Use Permit 2-23, Design Review 3-23, and Sign Permit 8-23 to operate a mixed-use building that includes a restaurant with arcade, general retail, and four multi-family dwelling units in an existing building at 228 N. Main St., Fort Bragg, subject to the following conditions:

SPECIAL CONDITIONS:

1. The applicant shall install soundproof windows in all residential units, to be inspected as part of the Building Permit inspection and approved prior to final of the Building Permit.
2. Prior to final of the Building Permit, the Applicant shall install a thermoplastic safety crosswalk between the North entrance of the building and the public sidewalk, and a concrete sidewalk connection between the south ADA crosswalk and the sidewalk to provide safe ADA access from the sidewalk.
3. The applicant shall install trash enclosures around both refuse collection areas. The enclosures shall be of redwood fencing, stucco or similar treatment as approved by the Director of Community Development prior to final of the Building Permit.
4. Prior to the final of the Building Permit, the applicant shall provide specifications for the installed exterior lighting, which shall be night-sky compliant, downward facing and shielded so that light does not enter the apartment windows or cast outside the limits of the property.
5. Prior to final of the building permit, the applicant shall install at least two additional trees between the sidewalk and the parking lot in the landscaping strip along the Alder Street frontage between the entry driveway and the western corner of the parcel. The

applicant shall also install at least two trees between the monument sign and the existing trees on the sidewalk fronting Main Street. Tree species shall be as specified in the landscaping plan. The installed backflow device shall be screened from view by shrubs and vegetation from the plant list in the Landscaping Plan.

6. Prior to issuance of the Building Permit, the applicant shall file for Director review and approval a revised site plan complying with ILUDC §18.36.110.B and §18.30.050.E.4 requirements and showing the location of the loading space, masonry wall, and landscaping.
7. Stormwater Management best practices shall be utilized during construction including the following:
 - a. If construction is conducted between October and April (the rainy season) approval from the Public Works Department and additional construction BMP's will be required.
 - b. It is not permitted for construction debris and soil to be placed in the City right-of-way. All construction debris/soil shall be properly disposed of.
 - c. Applicant to adhere to the storm water measures outlined in the Storm Water Control Plan that was provided by the applicant.
 - d. Applicant to ensure that there is no increase in runoff to adjacent properties or to the Public Right of Way.
8. The applicant shall install screening around the mechanical equipment on the roof. Such screening shall consist of redwood lattice or similar material as approved by the Community Development Director prior to final of the building permit.
9. In accordance with ILUDC §18.38.070 et seq, when an additional signage is added for other businesses at the property, one of the Bear's Pizza signs shall be removed.
10. The applicant shall submit a revised sign design for approval by the Community Development Director which includes: 1) architectural elements on the sides and top to frame the monument sign pane, such as columns, pilaster, cornices, and similar details to provide design interest; 2) if the proposed signs will be internally illuminated only the sign copy may be illuminated; and 3) a lighting plan for the signs if they are not internally illuminated.

STANDARD CONDITIONS:

1. This action shall become final on the 11th day following the decision unless an appeal to the City Council is filed pursuant to ILUDC Chapter 18.92 - Appeals.
2. The use and occupancy of the premises shall be established and maintained in conformance with the requirements of this permit and all applicable provisions of the ILUDC.
3. The application, along with supplemental exhibits and related material, shall be considered elements of this permit, and compliance therewith is mandatory, unless an amendment has been approved by the City.
4. This permit shall be subject to the securing of all necessary permits for the proposed development from City, County, State, and Federal agencies having jurisdiction. All plans submitted with the required permit applications shall be consistent with this approval. All construction shall be consistent with all Building, Fire, and Health code considerations as well as other applicable agency codes.

5. The applicant shall secure all required building permits for the proposed project as required by the Mendocino County Building Department.
6. If any person excavating or otherwise disturbing the earth discovers any archaeological site during project construction, the following actions shall be taken: 1) cease and desist from all further excavation and disturbances within 25 feet of the discovery; 2) notify the Fort Bragg Community Development Department within 24 hours of the discovery; and 3) retain a professional archaeologist to determine appropriate action in consultation with stakeholders such as Native American groups that have ties to the area.
7. This permit shall be subject to revocation or modification upon a finding of any one or more of the following:
 - a) That such permit was obtained or extended by fraud.
 - b) That one or more of the conditions upon which such permit was granted have been violated.
 - c) That the use for which the permit was granted is so conducted as to be detrimental to the public health, welfare, or safety or as to be a nuisance.
 - d) A final judgment of a court of competent jurisdiction has declared one or more conditions to be void or ineffective or has enjoined or otherwise prohibited the enforcement or operation of one or more conditions.
8. Unless a condition of approval or other provision of the Inland Land Use and Development Code establishes a different time limit, any permit or approval not exercised within 24 months of approval shall expire and become void, except where an extension of time is approved in compliance with ILUDC Subsection 18.76.070(B).

BE IT FURTHER RESOLVED that this Resolution shall become effective immediately upon its passage and adoption.

The above and foregoing Resolution was introduced by _____ seconded by _____, and passed and adopted at a regular meeting of the Planning Commission of the City of Fort Bragg held on the 14th day of February 2024, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:
RECUSE:

Scott Deitz, Chair

ATTEST:

**Maria Flynn, Administrative Assistant
 Community Development Department**



CITY OF FORT BRAGG

Incorporated August 5, 1889

416 N. Franklin Street, Fort Bragg, California 95437

tel. 707.961.2823 and www.fortbragg.com

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Fort Bragg Planning Commission will conduct a public hearing to consider approving a Use Permit UP 2-23, Design Review DR 3-23, and Sign Permit SP 8-23 at a regularly scheduled meeting on Wednesday, February 14, 2024 at 6:00 PM, or as soon thereafter as the matter may be heard, at Town Hall, at the corner of Main and Laurel Streets (363 North Main Street), Fort Bragg, California. The public hearing will concern the following item:

FILE NO.: UP 2-23, DR 3-23, and SP 8-23

FILING DATE: May 19, 2023

APPLICANT: Christina Poos

LOCATION: 228 N Main St and APN 018-153-28

LOT SIZE: 37,500 SF

ZONING: Central Business District (CBD) Inland

PROJECT DESCRIPTION: Consideration of Use Permit 2-23, Design Review 3-23, and Sign Permit 8-23 applications requesting to convert an existing commercial building to the following uses: Restaurant with arcade, General Retail, and four Mixed-Use Dwellings in the inland Central Business District.

ENVIRONMENTAL DETERMINATION: CEQA Categorical Exemption 15301 Existing Facilities

Public Comment regarding this Public Hearing may be made in any of the following ways: (1) Emailed to the Community Development Department, at cdd@fortbragg.com (2) Written comments delivered to City Hall, 416 N. Franklin Street before 2:00 PM on the day of the meeting; or (3) Verbal comments made during the meeting, either in person at Town Hall or virtually using Zoom if a Zoom link is provided at the time of agenda publication.

Staff reports and other documents that will be considered by Planning Commissioners will be made available for review 72 hours prior to the Planning Commission meeting, on the City's website: <https://cityfortbragg.legistar.com/Calendar.aspx>, and during normal office hours at Fort Bragg City Hall. To obtain application materials or for more information, please contact Community Development Department staff via email at cdd@fortbragg.com. At the conclusion of the public hearing, the Planning Commission will consider a decision on the above matter.

Appeal process and fee schedule: Decisions of the Planning Commission shall be final unless appealed to the City Council in writing within ten (10) days thereafter with a filing fee of \$1,000 to be filed with the City Clerk. If you challenge the above case in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Community Development Department at, or prior to, the public hearing.

A handwritten signature in blue ink that reads "Juliana von Hacht Cherry".

Juliana von Hacht Cherry, Director
Community Development Department

PUBLISHING/MAILING DATE: February 1, 2024

STATE OF CALIFORNIA)
) ss.
COUNTY OF MENDOCINO)

I declare, under penalty of perjury, that I am employed by the City of Fort Bragg in the Community Development Department; and that I posted this Notice in the City Hall Notice case on or before February 1, 2024.



Juliana von Hacht Cherry, Director
Community Development Department

cc: Planning Commission
Owner/Applicant/Agent
Property owners within 300' radius
'Notify Me' Subscriber Lists



CIUDAD DE FORT BRAGG

Incorporada el 5 de agosto de 1889

416 N. Franklin Street, Fort Bragg, California 95437

tel. 707.961.2823 y www.fortbragg.com

AVISO DE AUDIENCIA PÚBLICA

POR EL PRESENTE SE NOTIFICA que la Comisión de Planificación de Fort Bragg llevará a cabo una audiencia pública para considerar la aprobación de un Permiso de uso UP 2-23, Revisión de diseño DR 3-23 y Permiso de señalización SP 8-23 en una reunión programada regularmente el miércoles 14 de febrero de 2024 a las 6:00 p.m., o tan pronto como se pueda escuchar el asunto, en el Ayuntamiento, en la esquina de las calles Main y Laurel (363 North Main Street), Fort Bragg, California. La audiencia pública se referirá al siguiente punto:

NÚMERO DE ARCHIVO: UP 2-23 , DR 3-23 y SP 8-23

FECHA DE PRESENTACIÓN : 19 de mayo de 2023

SOLICITANTE: Christina Poos

UBICACIÓN: 228 N Main St y APN 018-153-28

TAMAÑO DEL LOTE: 37,500 SF

ZONIFICACIÓN: Distrito Central de Negocios (CBD) Interior

DESCRIPCIÓN DEL PROYECTO: Consideración de las solicitudes de Permiso de uso 2-23, Revisión de diseño 3-23 y Permiso de señalización 8-23 que solicitan convertir un edificio comercial existente para los siguientes usos: Restaurante con galería, Comercio minorista general y cuatro viviendas de uso mixto en el distrito comercial central del interior.

DETERMINACIÓN AMBIENTAL: CEQA Exención Categórica 15301 Instalaciones Existentes

Los comentarios públicos sobre esta audiencia pública se pueden realizar de cualquiera de las siguientes maneras: (1)

Enviado por correo electrónico al Departamento de Desarrollo Comunitario, a cdd@fortbragg.com (2) Comentarios escritos entregados al Ayuntamiento, 416 N. Franklin Street antes de las 2:00 p. m. del día de la reunión; o (3) Comentarios verbales realizados durante la reunión, ya sea en persona en el Ayuntamiento o virtualmente usando Zoom si se proporciona un enlace de Zoom en el momento de la publicación de la agenda.

Los informes del personal y otros documentos que serán considerados por los Comisionados de Planificación estarán disponibles para su revisión 72 horas antes de la reunión de la Comisión de Planificación, en el sitio web de la Ciudad: <https://cityfortbragg.legistar.com/Calendar.aspx>, y durante la oficina normal. horas en el Ayuntamiento de Fort Bragg. Para obtener materiales de solicitud o para obtener más información, comuníquese con el personal del Departamento de Desarrollo Comunitario por correo electrónico a cdd@fortbragg.com. Al concluir la audiencia pública, la Comisión de Planificación considerará una decisión sobre el asunto anterior.

Proceso de apelación y cronograma de tarifas: Las decisiones de la Comisión de Planificación serán definitivas a menos que se apelen ante el Concejo Municipal por escrito dentro de los diez (10) días siguientes con una tarifa de presentación de \$1,000 que se presentará ante el Secretario Municipal. Si impugna el caso anterior en el tribunal, es posible que se limite a plantear solo aquellas cuestiones que usted u otra persona plantearon en la audiencia pública descrita en este

aviso o en correspondencia escrita entregada al Departamento de Desarrollo Comunitario durante o antes de la audiencia pública. .



Juliana von Hacht Cherry, directora
Departamento de Desarrollo Comunitario

FECHA DE PUBLICACIÓN/ENVÍO: 1 de febrero de 2024

ESTADO DE CALIFORNIA)
) ss.
CONDADO DE MENDOCINO)

Declaro, bajo pena de perjurio, que soy empleado de la Ciudad de Fort Bragg en el Departamento de Desarrollo Comunitario; y que publiqué este Aviso en el caso de Aviso del Ayuntamiento el 1 de febrero de 2024 o antes.



Juliana von Hacht Cherry, directora
Departamento de Desarrollo Comunitario

cc: Comisión de Planificación
Propietario/Solicitante/Agente
Propietarios dentro de un radio de 300'
Listas de suscriptores 'Notificarme'

Notice of Exemption

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

From: (Public Agency): City of Fort Bragg
416 N Franklin St
Fort Bragg, CA 95437

County Clerk
County of: _____

(Address)

Project Title: UP 2-23, DR 3-23, and SP 8-23

Project Applicant: Christina Poos

Project Location - Specific:

228 N Main St and APN 018-153-28

Project Location - City: Fort Bragg Project Location - County: Mendocino

Description of Nature, Purpose and Beneficiaries of Project:

Consideration of Use Permit 2-23, Design-Review 3-23, and Sign Permit 8-23 applications requesting to convert an existing commercial building to the following uses: Restaurant with arcade, General Retail, and four Mixed-Use Dwellings in the inland Central Business District.

Name of Public Agency Approving Project: _____

Name of Person or Agency Carrying Out Project: Christina Poos

Exempt Status: (check one):

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption. State type and section number: 15301
- Statutory Exemptions. State code number: _____

Reasons why project is exempt:

Existing facility

Lead Agency
Contact Person: Juliana Cherry Area Code/Telephone/Extension: 707-961-2823

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? Yes No

Signature: _____ Date: _____ Title: _____

Signed by Lead Agency Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

Public Comment re 228 N Main St and APN 018-153-28, FILE NO.: UP 2-23, DR 3-23, and SP 8-23; February 14, 2024 Planning Commission Meeting

ajregister@yahoo.com <ajregister@yahoo.com>

Thu 2/1/2024 10:48 PM

To:cdd <cdd@fortbragg.com>

Cc:'Bear Poos' <jjbearpoos@gmail.com>

I support the development of this property. It is currently vacant and does not enjoy the maintenance that a building in use would.

Further, it would constructively expand the downtown/central business district (CBD) of Fort Bragg.

The proprietor's care in operation can currently be seen at its current location in the Boatyard Shopping Center.

While the premises there are somewhat casually kept, my hope is that the new location will afford both commercial and residential use in a constructive, attractive, and hygienic manner.

I support the development of this property as the intended uses are consistent with apparent community goals for development, remove abandoned and derelict property by use and occupancy, and increase constructive commerce, patronage, and use in the area.

Best Regards,

Andrew Jordan
Fort Bragg, CA

Initial Thoughts on UP 2-23, DR 3-23 & SP 8-23

Jacob Patterson <jacob.patterson.esq@gmail.com>

Fri 2/2/2024 3:33 PM

To:cdd <cdd@fortbragg.com>

Cc:Marie Jones <marie@mariejonesconsulting.com>

Community Development Department,

I reviewed the application materials for this project and want to share my initial thoughts. (I copied Marie because she was involved with the original application review based on correspondence in the project file.) First, I want to say that I am broadly supportive of this project and think it is an excellent fit for our CBD. That said, I do have a few questions, concerns and observations concerning some of the details, particularly related to the Design Review and the lighting for the signs.

The signs themselves appear to be very attractive, however, the sign materials were not clear. Staff notes indicated ambiguity about the lighting. Based on what I reviewed, it appears that the signs will be externally lit with spotlights. Ground-mounted spot lights are not dark sky compliant and the external sign lighting--our Citywide Design Guidelines encourage externally-lit signage over internal illumination--could be problematic. A great example of a complaint and attractive sign is the Baymont Inn sign, with its high-quality materials and down-cast external illumination. I recommend the same type of lighting for this sign and a requirement for high-quality sign materials (i.e., nothing plastic or vinyl). The application materials don't actually appear to be complete because we have mock-ups of the signs but little information about the sign materials. The signs should be wood, metal or an attractive composite material like the Baymont Inn sign. frankly, the lack of materials in the application should have been flagged among the issues that made the initial application incomplete. This results from the following applicable MANDATORY standard from the Design Guidelines "2. Signs shall coordinate with the building design, materials, color, size, and placement."

Regarding the overall Design Review, I also think the application is currently incomplete because there is not a color scheme or materials board included. In the least, we need to know the proposed color scheme of the building in order to evaluate the proposed exterior design's consistency with the Citywide Design Guidelines. IMO, the proposed changes to the building's exterior are not consistent with the Citywide Design Guidelines because the currently contrasting trim is proposed to match the main walls (I assume color-wise, even though the color is not disclosed in anything I was able to review.) More concerning is the proposal to remove nearly all of the architectural detail in the current building by removing the existing wood siding and replacing it all with stucco that covers the remainder of the building. This is going in the opposite direction as we should be requiring based on the various applicable components of the Design Guidelines, including the MANDATORY standards.

A great example is found on page 12:

1. Structures shall be well-articulated on all sides visible from public streets and views. The highest level of articulation occurs on the front façade, and on all elevations visible from the public right of way. This includes variation in massing, roof forms, and wall planes, as well as surface articulation. Avoid boxy and monotonous facades that lack human scale dimensions and have large expanses of flat blank wall planes visible to the public.

Making everything stucco and likely the same color without variation (including patching in stucco that almost never looks good unless it is executed perfectly) is in direct conflict with this mandatory standard.

Another example from page 12 is:

4. Architectural details and materials shall be incorporated on the lower part of the building facade to relate to human scale. These pedestrian scale elements can include awnings, trellises, windows, building base articulation, and changes in materials, textures, and colors.

Here, there are no varied materials in the lower portion of the building. If this project didn't involve voluntary changes to the facade of the existing building, I don't think we would need to review many of the standards in the Design Guidelines but since they are proposing to alter the exterior materials by removing the wood siding and replacing it with more stucco, we need to consider what the Design Guidelines require, encourage, and discourage concerning the exterior aspects that are being voluntarily changed from those on the existing building. (If all they were proposing was repainting, that would be a different story and we would mostly be talking about the proposed paint palette/color scheme but that appears to have been omitted from the application materials for some unknown reason.)

Page 12 also includes preferred standards, which seem to be undermined by the proposed removal of the varying exterior materials and replacing it all with mono-colored stucco:

Preferred Standards

1. Architectural elements that add visual interest, scale, and character such as projecting balconies, trellises, recessed windows, window and door detailing, or green garden walls should be incorporated to help articulate facades and blank walls.
2. Break up large building forms by vertical and horizontal variations in wall and roof planes, building projections, projecting ribs, reveals, door and window bays and similar design elements. To divide the building mass into smaller scale components, building faces over 50 feet long should reduce the perceived mass and bulk by one or more of the following: change of roof or wall plane; projecting or recessed elements, such as trellises, balconies, openings, etc.; varying cornice or rooflines; or other similar means.

IMO, they need to include some exterior variation to increase visual interest for this visually prominent building in the heart of our CBD.

Page 13 also provides applicable guidance:

Architectural Form & Detail

Mandatory Standards

...

2. Commercial development shall compliment and/or Incorporate design elements and features from the historic architectural styles of the Central Business District, such as bay windows, porches, projecting eaves, awnings, and similar elements that add visual interest to the development

Preferred Standards

1. Commercial development should include a higher level of architectural detailing and higher quality materials at the pedestrian level of the building.

2. Architectural style should be compatible with the surrounding character, including building style, form, size, materials, and roofline.
3. The use of awnings, canopies, recesses, and arcades is strongly encouraged to provide protection for pedestrians and to add interest and color to buildings. Awning placement should fit within the scale, proportion, and rhythm created by the distinct architectural elements and should not cover piers, pilasters and other architectural details. Awnings should be compatible in color and design with the buildings. Awning frames and supports should be painted or coated metal or other non-corroding material and designed to withstand wind loads.

In this case, none of these mandatory or preferred standards are demonstrated in the exterior building details. It almost seems as if the project architect was not aware of our Citywide Design Guidelines when she prepared the plans for this remodel. Of course, this is an existing building but any remodel that involves voluntary changes to a building facade still needs to meet our Design Review criteria, including the Citywide Design Guidelines to the extent feasible. That means not removing the only architectural details that provide any interest and increasing not decreasing the variety of materials. There is no reason why this building shouldn't have some art installations on the large blank walls, awnings over the doors and windows, or trellises to break up the large walls. However, with an existing building, we won;t be doing things like changing the roof lines or making major site layout alterations but we still need to work with what we have and ensure that the exterior modifications don't leave us with a big boring stucco box with undefined colors.

Page 25 specifically covers remodels like this project (the underlines below are what concern me about this proposed exterior remodel):

Additions, Remodels, & Renovations

Mandatory Standards

1. The design of a proposed addition shall follow the general scale, proportion, massing, and detailing of the original structure. New additions shall be interpretations of, or improve upon, the design of the existing structure wherein the main characteristics of the existing building are incorporated or improved upon using modern construction methods. This may include:
 - a. Using similar proportions
 - b. Extending the architectural lines from the existing building to the addition
 - c. Sensitivity to the patterns of window and entrance spacing and openings
 - d. Harmonizing with existing colors and materials
 - e. Inclusion of similar architectural details (i.e. window/door trim, lighting fixtures, decoration)
2. Building materials used for the addition shall be of comparable or better quality than the existing building.

Preferred Standards

1. Introducing or changing the location, size, or style of windows or other openings that alter the architectural rhythm or character of the original building is discouraged.
2. When original decorative details and architectural elements were covered up in previous remodeling, these forgotten details should be restored and incorporated in the design of the remodeled building.

These standards do not appear to be met by this proposal, particularly the MANDATORY requirement to include similar architectural details because of the proposal to remove the contrasting wood siding and replace it with matching stucco. Now, old deteriorated wood probably needs to be replaced but it should be done with something other than stucco (other than perhaps on the lower walls that will no longer be aligned with the upper windows). Period-appropriate architectural details would involve

composite siding with vertical lines or even something different like metal panels or a row of tile or a tile mosaic around the building crown. Ironically, the eastern facade actually includes more architectural detail than the street-facing western facade and similar vertical elements could be incorporated into the western and southern facades rather than eliminating all architectural detail and variation by making everything the same stucco. Frankly, the architect should probably review the Design Guidelines and prepare altered external facades to reflect the mid-century character of the building rather than proceeding with the public hearing on the 14th (unless she can prepare them by then).

Please note that Chapter 3 of the Design Guidelines also applies to this project because it is in the CBD and the exterior of the building is being altered to a significant degree. The proposed exterior details fail to meet some of the applicable standards and should be modified, IMO.

I also have a few unrelated questions/observations:

1. Is there proposed bicycle parking and where will it be?
2. Where will the EV charging stations be located within the parking lot, if any?
3. Can the generator be relocated to a less visually-prominent location, ideally screened and on the building roof like the other mechanical equipment?
4. Is there an opportunity for an outside dining area, perhaps a few tables, if not a permanent cover over them? Perhaps along the northern elevation near to where the walk-up ATMS used to be?
5. How will they address the existing flooding and drainage issues at the southwestern corner of the parking lot?

Regards,

--Jacob

Public Comment -- 2/14/24 PC Mtg., Item No. 6A, Bear Pizza

Jacob Patterson <jacob.patterson.esq@gmail.com>

Sat 2/10/2024 12:01 PM

To:cdd <cdd@fortbragg.com>

Cc:Marie Jones <marie@mariejonesconsulting.com>

- Planning Commission,

Now that I have had a chance to read the agenda materials rather than just the application materials, I am happy to say that several of my concerns have been addressed (e.g., dark-sky lighting requirements) but I do still have some concerns about the exterior modifications. The two aspects that still concern me are removing the contrasting materials and colors in the areas currently sided with plywood, and the proposed window placement. However, I think you can still approve this project if you either disagree with my opinions concerning the design review or add some special conditions to address the issues. This is when not having a professional architect on the Planning Commission (or among planning staff) really makes me miss Jay Andreis, he was always on top of the design review details and had great suggestions on how to improve them to meet the Design Guidelines to the greatest extent feasible, which is an express requirement of the Design Guidelines that seems to get overlooked in many of our design reviews.

If you are fine with stucco replacing the wood elements, I suggest requiring the upper portion of the building with the current wood band to be painted a contrasting color from the base wall color. In fact, I suggest you require the entire building to be repainted with a consistent color scheme to remove the different exterior colors from where the Mendocino Chocolate Company store used to occupy part of the western facade. The building should have a coherent color scheme and they will obviously have to do repainting anyway since they are proposing significant stucco patching. I suspect they might intend to repaint anyway and it was unintentionally omitted from the application because some of the City's permit handouts are a little ambiguous and staff might not have highlighted it for them. You can accomplish a lot simply with paint even if a building lacks a lot of variation in architectural materials and design elements.

The other concern is the new window placement, particularly on the upper portions of the west and south elevations (the east and north seem fine as proposed). This building's architectural style and the current design, which is supposed to be extended to proposed alterations, involves evenly-spaced windows that are symmetrically placed relative to the SW corner of the building. This regular size and pattern of windows is part of the mid-century architectural style of the building. That extends to the vertical wooden panels that extend down from the windows. It would have been much better and in line with our Citywide Design Guidelines, to maintain a standard pattern of window size and placement on the upper west and south facades, with the new windows for the eastern residential units mimicking the pattern and placement of the existing windows to the west. However, I recognize that the interior layouts may have contributed to the new window placement but they should be as uniform, at least in size, if not in placement, to maintain the architectural character of the building itself. The proposed upper windows lack consistency with these design considerations because they are a mish-mash of shapes, sizes, and placement relative to each other as currently proposed.

I hope the project architect will attend the meeting so she can address any possible design amendments. Most well-designed buildings include some level of symmetry or consistent patterns

when it comes to window size and placement and we should expect that here to the greatest extent feasible balanced with interior layout limitations.

I recommend you craft additional special conditions to accomplish the following:

- Require screening of the generator proposed for the north.
- Require the building to be repainted in a consistent color scheme that involves color variation on different architectural elements (e.g., the top band).
- Require a different window layout for the upper floor that is as consistent as possible with the current window placement, relative symmetry, and consistent size and orientation.
- Permit them the option to add an exterior dining area even though they haven't requested it, including potential covered area on the north side.

Regards,

--Jacob

Follow-up Public Comment -- 2/14/24 PC Mtg., Item No. 6A, Bear's Pizza

Jacob Patterson <jacob.patterson.esq@gmail.com>

Tue 2/13/2024 11:19 AM

To:cdd <cdd@fortbragg.com>

Cc:Marie Jones <marie@mariejonesconsulting.com>

Planning Commission,

I was able to review the proposed upstairs floor plan for the four residential units this morning and would like to suggest a potential solution to my concern about the altered window patterns and sizes for the second floor of the former BofA building. The west facade is proposed to retain the existing three windows in their current locations, which is great. The south facade needs to accommodate windows for the four separate residential units. Currently, there are three types of windows proposed, single windows of a similar, if not the same, size and shape as the existing windows; double windows that are basically two of the single windows side-by-side in a single unit; and one smaller window for the main room of one of the units that needs to fit into the inside corner where the building juts out further to the south as it goes east. I looked at where the interior walls divide the space between the four units to determine where windows could not be located and it is feasible to reconfigure the windows in a manner that basically continues the flow of windows of the same size as the three retained windows on the west facade. This can be accomplished by breaking up the proposed double windows and replacing them with a series of single windows that are spaced out as evenly as possible and are of a uniform size and shape across the entire south facade except the one smaller window, which can still be the same height as, and aligned with, the other windows. There is one window into a bathroom and it should probably include opaque or obscured glass (e.g. reeded or another surface pattern).

The current window configuration is as follows (from west to east):

- 1st (western) unit has two single windows
- 2nd unit has two double windows
- 3rd unit has the small window and a double window
- 4th (eastern) unit has two double windows

The following recommended reconfiguration would be as consistent as is possible with the Citywide Design Guidelines without moving any internal walls or fixtures:

- 1st unit retains two single windows with potential minor spacing adjustments to maintain a pattern across the south facade
- 2nd unit could replace the two double windows with three single windows (evenly spaced in a row with the windows from the first unit)
- 3rd unit retains the small single window and replaces the double window with two single windows (evenly spaced with the windows of the 4th unit)
- 4th unit replaces the two double windows with three single windows (evenly spaced with the windows from the 3rd unit)

Please keep in mind that this alteration in the design would likely have no to a minimal financial impact to the overall construction budget. The only real consequence would be that the windows wouldn't necessarily line up with the likely interior furniture layout the same way as the current configuration because the double windows would be replaced with a series of single windows that are

a different shape so all windows would have the same height and be aligned across the south facade. Any of these windows could open to facilitate air flow if that was part of the purpose for proposed double windows.

I believe the thought was to have double windows next to dining tables in two of the units but there wouldn't really be any loss in overall window surface area or views by replacing the incongruent double windows with a series of single windows of uniform size and shape. These changes are directly related to the citywide design guidelines and to the particular changes proposed in this application. I think these changes along with painting and color scheme requirements in the form of new special conditions (i.e., not subject to your further review but for the Director to review and sign off on as compliant with the Commission's direction) would make this project as consistent as it could be with the mandatory and the applicable preferred design guidelines allowing you to comfortably approve it. These minor changes (from a feasibility and financial perspective) provide large community benefits in maintaining a more consistent and attractive building exterior at a very prominent location in our CBD.

I suspect that the current windows' shapes and placement are driven more by interior layout considerations rather than the exterior appearance but our Design Guidelines are almost exclusively concerned with a building's exterior components that are visible from the public right of way. Your job is to make sure these proposed projects meet our planning requirements and I strongly believe that these changes are necessary to do that. I have seen too many Design Reviews completely dismiss an applicable design guideline because of what is included in the application rather than try to get the project to be as consistent as is feasible with the applicable guidelines, which I want to emphasize is a mandatory requirement of the Citywide Design Guidelines themselves (i.e., even preferred guidelines are supposed to be followed as closely as it is practical to do so).

I think this project is great and fully support it but encourage you to make these changes, which I predict will not be objectionable to the applicant since they shouldn't increase their costs other than minor alterations to the existing plans by their architect or delay the project. That is why I am suggesting very specific recommended solutions to the concerns I have identified as part of my review as a member of the public. There is nothing I like less than people who can only identify problems but have no practical suggestions for solutions to the issues they identified.

Regards,

--Jacob



City of Fort Bragg

416 N Franklin Street
Fort Bragg, CA 95437
Phone: (707) 961-2823
Fax: (707) 961-2802

Text File

File Number: 23-502

Agenda Date: 2/14/2024

Version: 1

Status: Public Hearing

In Control: Planning Commission

File Type: Planning Staff Report

Agenda Number: 6B.

Continue to March 13, 2024 to Conduct a Public Hearing, and Consider Approval of Minor Subdivision 1-23 (DIV 1-23) for 145 Dana Street (APN 008-312-18). Categorically Exempt.



CITY OF FORT BRAGG
Incorporated August 5, 1889
416 N. Franklin Street, Fort Bragg, CA 95437
(707) 961-2823 [Website](#)

MEMORANDUM

DATE: February 14, 2024

TO: Planning Commissioners

FROM: Director Juliana von Hacht Cherry

SUBJECT: Request to continue Agenda Item 6B & DIV 1-23

Staff requires additional time to assemble a recommendation for a proposed minor subdivision of land located 145 Dana Street; and requests consideration to continue the matter to the next regularly scheduled Planning Commission Meeting on March 13, 2024.

On Thursday, February 9, 2024 staff contacted the applicant and discussed this request and although disappointed, the applicant supports this request.



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NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Fort Bragg Planning Commission will conduct a public hearing to consider approving a Tentative Map, proposing a Minor Subdivision (DIV 1-23) to an existing ±30,784 SF parcel located at 145 Dana St. The public hearing will be held at a regularly scheduled meeting on Wednesday, February 14, 2024 at 6:00 PM, or as soon thereafter as the matter may be heard, at Town Hall, at the corner of Main and Laurel Streets (363 North Main Street), Fort Bragg, California. The public hearing will concern the following item:

FILE NO.: Minor Subdivision 1-23 (DIV 1-23)

FILING DATE: July 1, 2023

APPLICANT: Heather and Carlos Franco

LOCATION: 145 Dana Street and APN: 008-312-1

LOT SIZE: +-30,784 S

ZONING: Low Density Residential (RL) Inland

PROJECT DESCRIPTION: Adopt a Resolution of the Fort Bragg Planning Commission approving a Tentative Map proposing a Minor Subdivision (DIV 1-23) of a 30,874 SF parcel into three parcels of ±10,665 SF, ±12,119 SF and ±8,000 SF in the Low Density Residential (RL) zone located at 145 Dana Street. The property is developed with an existing single-family residential unit with a detached garage, paved driveway, and city water and sewer. The undeveloped portions are landscaped.

ENVIRONMENTAL DETERMINATION: CEQA Categorical Exemption 15315 Minor Land Division

Public Comment regarding this Public Hearing may be made in any of the following ways: (1) Emailed to the Community Development Department, at cdd@fortbragg.com (2) Written comments delivered to City Hall, 416 N. Franklin Street before 2:00 PM on the day of the meeting; or (3) Verbal comments made during the meeting, either in person at Town Hall or virtually using Zoom if a Zoom link is provided at the time of agenda publication.

Staff reports and other documents that will be considered by Planning Commissioners will be made available for review 72 hours prior to the Planning Commission meeting, on the City's website: <https://cityfortbragg.legistar.com/Calendar.aspx>, and during normal office hours at Fort Bragg City Hall. To obtain application materials or for more information, please contact Community Development Department staff via email at cdd@fortbragg.com. At the conclusion of the public hearing, the Planning Commission will consider a decision on the above matter.

Appeal process and fee schedule: Decisions of the Planning Commission shall be final unless appealed to the City Council in writing within ten (10) days thereafter with a filing fee of \$1,000 to be filed with the City Clerk. If you challenge the above case in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Community Development Department at, or prior to, the public hearing.



Juliana Cherry, Community Development Director

POSTING/MAILING ON OR BEFORE: February 1, 2024

PUBLICATION DATE: February 1, 2024

STATE OF CALIFORNIA)
) ss
COUNTY OF MENDOCINO)

I declare, under penalty of perjury, that I am employed by the City of Fort Bragg in the Community Development Department; and that I caused this notice to be posted in the City Hall Notice case on or before February 1, 2024.



Juliana Cherry, Community Development Director

cc: Planning Commission
Owner/Applicant/Agent
Property owners within 300' radius
'Notify Me' Subscriber Lists



CIUDAD DE FORT BRAGG
Incorporada el 5 de agosto de 1889
416 N. Franklin Street, Fort Bragg, CA 95437
Teléfono: (707) 961-2827
www.FortBragg.com

AVISO DE AUDIENCIA PÚBLICA

POR EL PRESENTE SE NOTIFICA que la Comisión de Planificación de Fort Bragg llevará a cabo una audiencia pública para considerar la aprobación de un Mapa Tentativo, proponiendo una Subdivisión Menor (DIV 1-23) para una parcela existente de $\pm 30,784$ pies cuadrados ubicada en 145 Dana St. La audiencia pública será se llevará a cabo en una reunión programada regularmente el miércoles 14 de febrero de 2024 a las 6:00 p. m., o tan pronto como se pueda escuchar el asunto, en el Ayuntamiento, en la esquina de las calles Main y Laurel (363 North Main Street), Fort Bragg, California. La audiencia pública se referirá al siguiente punto:

NÚMERO DE ARCHIVO: Subdivisión menor 1-23 (DIV 1-23)

FECHA DE PRESENTACIÓN: 1 de julio de 2023

SOLICITANTE: Heather y Carlos Franco

UBICACIÓN: 145 Dana Street y APN: 008-312-1

TAMAÑO DEL LOTE: ± 30.784 S

ZONIFICACIÓN: Residencial de Baja Densidad (RL) Interior

DESCRIPCIÓN DEL PROYECTO: Adoptar una Resolución de la Comisión de Planificación de Fort Bragg aprobando un Mapa Tentativo que propone una Subdivisión Menor (DIV 1-23) de una parcela de 30,874 SF en tres parcelas de $\pm 10,665$ SF, $\pm 12,119$ SF y $\pm 8,000$ SF en la Zona de Baja Densidad Zona residencial (RL) ubicada en 145 Dana Street. La propiedad se desarrolla con una unidad residencial unifamiliar existente con garaje independiente, entrada pavimentada y agua y alcantarillado municipal. Las partes no desarrolladas están ajardinadas.

DETERMINACIÓN AMBIENTAL: CEQA Exención Categórica 15315 División de Tierras Menores

Los comentarios públicos sobre esta audiencia pública se pueden hacer de cualquiera de las siguientes maneras: (1) enviados por correo electrónico al Departamento de Desarrollo Comunitario, a cdd@fortbragg.com (2) comentarios escritos entregados al Ayuntamiento, 416 N. Franklin Street antes de las 2: 00 horas del día de la reunión; o (3) Comentarios verbales realizados durante la reunión, ya sea en persona en el Ayuntamiento o virtualmente usando Zoom si se proporciona un enlace de Zoom en el momento de la publicación de la agenda.

Los informes del personal y otros documentos que serán considerados por los Comisionados de Planificación estarán disponibles para su revisión 72 horas antes de la reunión de la Comisión de Planificación, en el sitio web de la Ciudad: <https://cityfortbragg.legistar.com/Calendar.aspx>, y durante la oficina normal. horas en el

