

PROJECT DATA:
 EXISTING OCCUPANCY IS B (BOTH FLOORS)
 A-2 OCCUPANCY, RESTAURANT W/OUT FIXED SEATS
 A-3 OCCUPANCY, AMUSEMENT ARCADE AREA
 M OCCUPANCY, RETAIL SPACE
 R-2 OCCUPANCY, FOUR APARTMENTS UPSTAIRS

CONSTRUCTION TYPE V-B, LIGHT WOOD FRAMED
 FIRE SPRINKLERS - BOTH FLOORS

ASSESSOR'S PARCEL NUMBER 008-153-28
 LOT SIZE 0.86 ACRES (37,500 ± SQ. FT.)

LOT COVERAGE
 BUILDING 9250 SQ. FT. +/-
 WALKWAYS 3000 SQ. FT. +/-
 LANDSCAPE 3150 SQ. FT. +/-
 PARKING 22100 SQ. FT. +/-
 TOTAL 36200 SQ. FT. +/-

PLEASE NOTE:
 -NOT ALL LANDSCAPING SHOWN, FOR SIMPLIFICATION.
 -PROPERTY LINES ARE DIAGRAMMATIC ONLY.

A Remodeled Restaurant for:

Eric and Christina Poos
dba Bear's Pizza
228 N. Main Street
Fort Bragg, California
95437 AP# 008-153-28

SCOPE OF WORK:

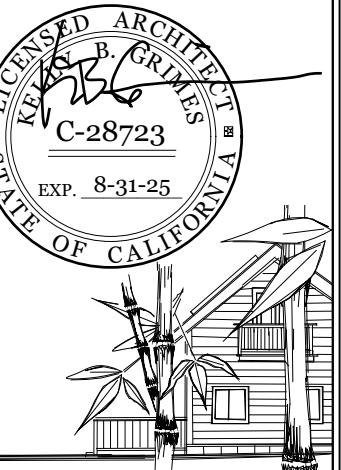
- CONVERT EXISTING RETAIL SPACE INTO A PIZZA RESTAURANT WITH GAMING AREA AND SEPARATE RETAIL SPACE.
- CONSTRUCT 4 RESIDENTIAL UNITS IN UPPER FLOOR
- VERIFY OR CONSTRUCT ACCESSIBLE PARKING SPACES THAT ARE COMPLIANT TO PLAN AND RESTRIPE PARKING AREA AS SHOWN

ARCHITECTURAL NOTES

1. CONSTRUCTION TO COMPLY IN EVERY MANNER WITH 2022 EDITION OF CALIFORNIA BUILDING CODE(CBC) AND ALL PERTINANT CALIFORNIA CODES INCLUDING, BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, FIRE, ENERGY, ETC. CONVENTIONAL CONSTRUCTION PRACTICES ARE ASSUMED UNLESS OTHERWISE NOTED. VERIFICATION OF COMPLIANCE WITH THE CBC SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY.
2. THIS SET OF DRAWINGS REPRESENTS THE BEST EFFORTS OF THE ARCHITECT. HOWEVER, THERE MAY BE DISCREPANCIES OR INACCURACIES WHICH, WHEN FOUND, SHOULD BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
3. THE CONTRACTOR (AND HIS SUB-CONTRACTORS) SHALL ALSO BE EXPECTED TO PUT THEIR BEST EFFORTS FORWARD AND WHEN THIS IS NOT POSSIBLE THE ARCHITECT SHOULD BE NOTIFIED AS SOON AS POSSIBLE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND DUST-PROOF PARTITIONS AS NEEDED FOR PROTECTIONS AGAINST ACCIDENT, AND SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF HIS WORK AND THE OWNER'S PROPERTY FROM DAMAGE OR LOSS DURING CONSTRUCTION.
5. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AT THE JOB AS NECESSARY AND REQUIRED BY CODE.
6. ALL GRADING SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE APPROPRIATE BUILDING CODE. ALL EXCAVATED MATERIAL RESULTING FROM GRADING SHALL BE RELOCATED ON THE SITE TO A LOCATION DETERMINED BY THE OWNER AND SO AS NOT TO AFFECT NATURAL DRAINAGE COURSES.
7. ALL PATIO AND FINISHED GRADE SURFACES SHALL SLOPE AWAY FROM NEW AND EXISTING BUILDINGS. CONTRACTOR TO VERIFY THAT ALL AREAS AFFECTED BY CONSTRUCTION ARE POSITIVELY DRAINED.
8. CONTRACTOR SHALL PROVIDE ACCESS AND VENTILATION IN ACCORDANCE WITH THE APPROPRIATE BUILDING CODE (AND AS SHOWN ON DRAWINGS) TO CRAWL SPACES AND PLUMBING CHASES, AND SHALL CONFIRM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
9. CONTRACTOR SHALL PROTECT ALL FINISHED FLOOR SURFACES FROM DAMAGE.
10. CONTRACTOR SHALL VERIFY THAT WATER SUPPLY LINES ARE SIZED TO PROVIDE ACCEPTABLE PRESSURE AND VOLUME AS REQUIRED BY THE UNIFORM PLUMBING CODE. ALL PLUMBING FIXTURES SHALL COMPLY WITH PRESCRIPTIVE REQUIREMENTS OF CAL-GREEN CODE.
11. ALL METAL FLASHING, GUTTER AND DOWNSPOUT JOINTS SHALL BE LAPPED, JOINED AND SEALED SO THAT THEY ARE WATER TIGHT TO PROVIDE POSITIVE WATERFLOW.
12. GLASS DOORS & ADJACENT GLASS PANELS, ALL GLAZED OPENINGS WITHIN 18" OF THE FLOOR, AND, GLAZINGS ADJACENT TO STAIRS SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.
13. ALL POSTS, PLATES, SLEEPERS, ETC. BEARING ON OR EMBEDDED IN CONCRETE OR MASONRY SHALL BE PRESSURE TREATED LUMBER, UNO.
14. SMOKE AND CO2 DETECTORS SHALL BE PROVIDED AS REQUIRED BY THE APPROPRIATE BUILDING CODE.
15. WHERE SPECIFIED ITEMS ARE MENTIONED, THE CONTRACTOR MAY SUBMIT ALTERNATE MATERIALS FOR APPROVAL BY THE OWNER AND THE ARCHITECT.
16. CONTRACTOR SHALL PROVIDE A BLANKET ONE-YEAR GUARANTEE FOR THE TOTAL JOB WITH THE SEPARATE GUARANTEE FOR SPECIFIC TRADES/EQUIPMENT ITEMS, WITH THE NAMES OF LOCAL REPRESENTATIVES TO BE CONTRACTED FOR SERVICE. PROVIDE OPERATING AND MAINTENANCE BROCHURES AS REQUIRED.
17. CONTRACTOR SHALL PROVIDE ONE REPRODUCIBLE DRAWING INDICATING ALL DIFFERENCES, CHANGES, ETC. FROM THE APPROVED SET OF DRAWINGS.
18. THIS PROJECT SHALL CONFORM TO ALL CURRENT (2022) WILDLAND URBAN INTERFACE (W.U.I.) STANDARDS AND CODES.
19. THE FIRE SPRINKLER SYSTEM IS BEING DESIGNED AND WILL BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
20. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED TO THE COUNTY PRIOR TO BEGINNING CONSTRUCTION.
21. A MAINTENANCE MANUAL SHALL BE PROVIDED AT THE FINAL INSPECTION AND SHALL INCLUDE 10 POINTS CONCERNING THE OPERATION AND MAINTENANCE OF THE BUILDING.
22. USE LOW VOC CAULKS, CONSTRUCTION ADHESIVES AND SEALANTS THAT MEET MENDOCINO COAST AIR QUALITY MANAGEMENT DISTRICT (MCAQMD) RULE 1168.
23. USE LOW VOC COATINGS THAT MEET MCAQMD RULE 1113.
24. ALL AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND VOC LIMITS.
25. DOCUMENTATION MUST BE PRESENTED WHEN REQUESTED TO VERIFY COMPLIANCE WITH THE VOC RULES.
26. NO WATER DAMAGED OR ROTTEN MATERIAL SHALL BE USED. ALL FRAMING SHALL HAVE A MOISTURE CONTENT LESS THAN 19% PRIOR TO ENCLOSING.
27. ANNULAR SPACES AROUND PIPES AND WIRES SHALL BE FILLED TO PREVENT AIR OR RODENT INFILTRATION.
28. ALL PARTICLE BOARD AND HARDWOOD PLYWOOD USED ON INTERIOR SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

Kelly B. Grimes, Architect

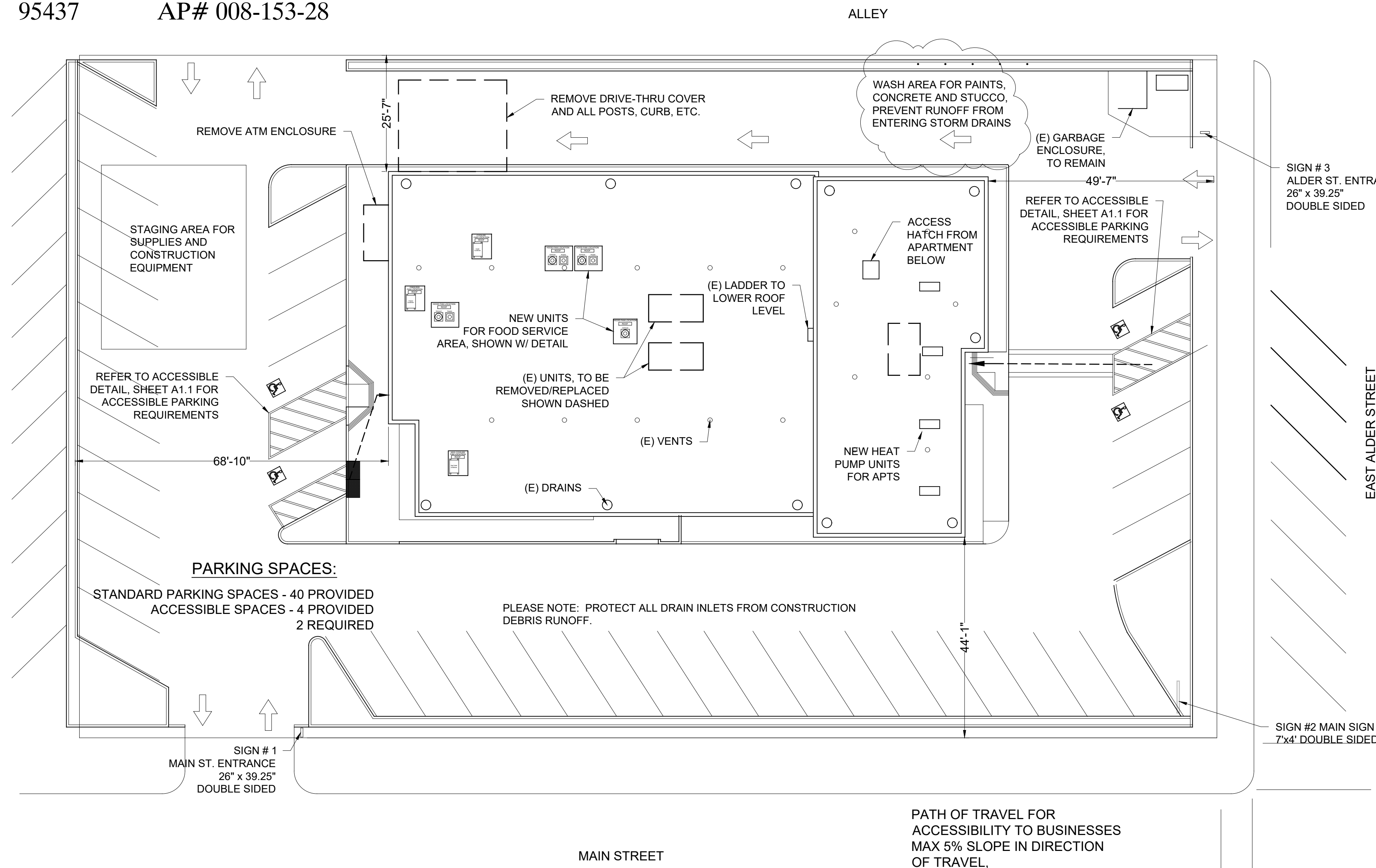
P.O. Box 598
 Little River, CA 95456
 707-937-2904



REVISIONS	BY

NOTES:

ABBREVIATIONS	
AFF.	ABOVE FINISHED FLOOR
@	AT
BM.	BEAM
BLKS., BLKG.	BLOCKS, BLOCKING
CL.	CENTER LINE
CL'G.	CEILING
CLR.	CLEAR
CONC.	CONCRETE
CONSTR. JT.	CONSTRUCTION JOINT
DBL.	DOUBLE
DECK'G.	DECKING
DF.	DOUGLAS FIR
DWG.	DRAWING
EA.	EACH
EQ.	EQUAL
(E)	EXISTING
EXT.	EXTERIOR
FLR.	FLOOR
FT	FEET, FOOT
FTG.	FOOTING
GALV.	GALVANIZED
GSM	GALVANIZED SHEET METAL
GYP BD.	GYP SUM BOARD (SHEETROCK)
HT.	HEIGHT
INFO.	INFORMATION
INSUL.	INSULATION
INT.	INTERIOR
MIN.	MINIMUM
MFR.	MANUFACTURER
MTL.	METAL
(N)	NEW
NIC	NOT IN CONTRACT
OC.	ON CENTER
PL.	PLATE LINE/PLATE/PROPERTY LINE
PLY.	PLYWOOD
PT.	PRESSURE TREATED
RDWD.	REDWOOD
REC'S.	RECOMMENDATIONS
REINF.	REINFORCING, REINFORCEMENT
RO.	ROUGH OPENING
SAD.	SEE ARCHITECTURAL DRAWINGS
SCHED.	SCHEDULE
SHT.	SHEET
SPAC'G.	SPACING
SO.	SQUARE
SSD.	SEE STRUCTURAL DRAWINGS
STAGG'D.	STAGGERED
STR.	STRUCTURE/STRUCTURAL
T&B	TOP AND BOTTOM
TO.	TOP OF
TBD.	TO BE DETERMINED
TS.	TUBE STEEL
TYP.	TYPICAL
UNO./UON.	UNLESS NOTED OTHERWISE
VIF.	VERIFY IN FIELD
W/	WITH



PATH OF TRAVEL FOR ACCESSIBILITY TO BUSINESSES
 MAX 5% SLOPE IN DIRECTION OF TRAVEL.
 MAX 2% CROSS SLOPE

DEFERED SUBMITTAL:
 • A REMODELED FIRE SPRINKLER PLAN WILL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

DRAWING INDEX

ARCHITECTURAL DRAWINGS:

- A1 SITE PLAN AND ARCHITECTURAL NOTES
- A1.1 ACCESSIBLE DETAILS
- A2 GROUND FLOOR PLANS
- A2.0 DIMENSIONED GROUND FLOOR PLAN
- A2.1 UPPER FLOOR PLANS
- A2.2 1/4" UPPER FLOOR PLAN W/ DOOR, APPLIANCE & FINISH SCHEDULES
- A3 EXTERIOR ELEVATIONS
- A4 SECTIONS
- A5 DOOR, WINDOW & PLUMBING SCHEDULES

- A6 WINDOW AND STUCCO DETAILS
- M2 MECHANICAL PLAN - GROUND FLOOR
- M2.1 MECHANICAL PLAN - UPPER FLOOR
- P2 PLUMBING PLAN - GROUND FLOOR
- F2 FIRE SPRINKLER PLAN - GROUND FLOOR -DEFERRED-
- F2.1 FIRE SPRINKLER PLAN - UPPER FLOOR -DEFERRED-
- E2 ELECTRICAL PLAN - GROUND FLOOR
- E2.1 ELECTRICAL PLAN - UPPER FLOOR

STRUCTURAL DRAWINGS:

- SN STRUCTURAL NOTES
- S1 EXISTING STRUCTURAL PLANS
- S2 MODIFIED STRUCTURAL PLANS
- S3 DETAIL UPPER ROOF FRAME PLAN
- SD1 STRUCTURAL DETAILS
- SD2 STRUCTURAL DETAILS
- SD3 STRUCTURAL DETAILS

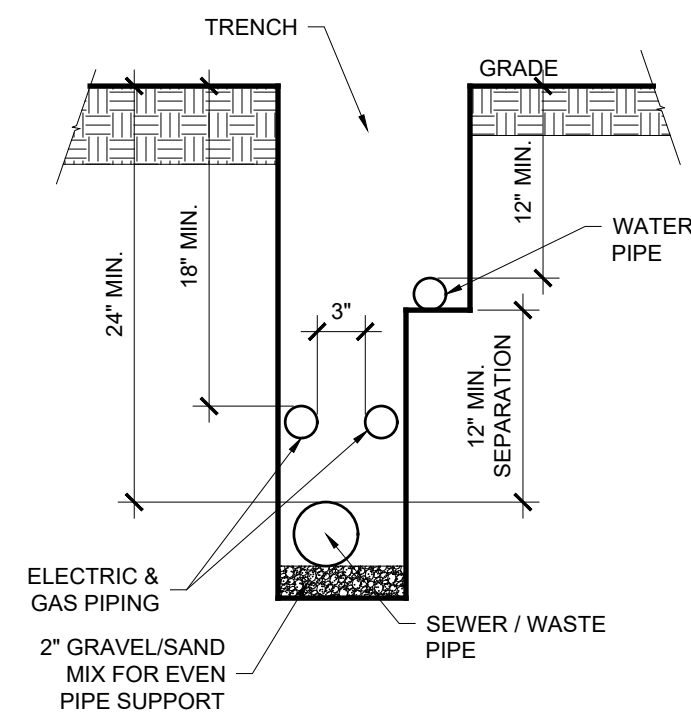
ENERGY DRAWINGS:

- EC1.1-3.1 COMMERCIAL LIGHTING COMPLIANCE SHEETS

FOOD SERVICE DRAWINGS:

- FST FOOD SERVICE NOTES
- FS1 FOOD SERVICE PLAN
- FS2 F.S. EQUIPMENT SCHEDULE
- FS3 F.S. EQUIPMENT PLUMBING PLAN
- FS4 F.S. EQUIPMENT ELECTRICAL PLAN
- FS5.1 F.S. HOOD SYSTEM - 5.11

SITE PLAN
 SCALE: 1" = 16'-0"



TRENCH DETAIL
 NO SCALE

REMODELING PLANS FOR:

PAPA BEAR'S PIZZA
 228 N. MAIN ST.
 FORT BRAGG, CA
 95437

A.P. #008-153-28-00

DATE: DECEMBER 22, 2023
 SCALE: AS NOTED
 DRAWN BY: KBG
 JOB: POOS

SITE PLAN & ARCHITECTURAL NOTES